

RESCHEDULED - AGENDA
City of Hobbs Planning Board – Regular Meeting
April 28, 2026 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larchinee Turner

Guy Kesner, Vice Chairman
Ben Donahue
Brett Clay

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, April 28, 2026, at 10:00 AM, at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

Call To Order and Roll Call

- 1) Review and Consider Approval of Agenda
- 2) Review and Consider Approval of Minutes

March 17th, 2026 – Regular Meeting

Communications from Citizens. (3-minute limit per citizen)

Action Items:

- 3) Review and Consider Front Yard and Side Yard Variance for Fence in Public Right-of-Way (Major Thoroughfare Plan) at 624 East Humble Street.
- 4) Review and Consider Front Yard Violation of 5ft “No Build Zone” from Property Line, Carport Built 1.5ft into “No Build Zone” at 515 East Corbett Street.
- 5) Review and Consider Tanglewood Unit 7 Existing 80ft Easement for Minor Collector Roadway, Additional 25ft to 35ft.
- 6) Review and Consider Urias Land Division into 4 Lots, 30’ Surface/Subsurface Easement.
- 7) Review and Consider Trinity Unit 4 Subdivision Layout, 57 Lots
- 8) Review and Consider Side Yard Setback Variance at 1430 West Paige Drive
- 9) Review and Consider VMJ Mavericks Claim of Exemption, Tract 1A-2 and Site Plan
- 10) Review and Consider Road Improvement Requirements for Mobile Home near 12200 North Catchings Road

Discussion Items:

- 11) Department of Finance and Administration, Infrastructure Planning and Development Division (ICIP) – 2026 Capital Projects

Adjournment

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 575-397-9232.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

*Approved
Guy Todd Pranda
Posted by Guy Pranda
4-23-26*

**PLANNING BOARD REGULAR MEETING
MINUTES
MARCH 17, 2026**

The Hobbs Planning Board met on March 17, 2026, at 10:00 a.m. at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks, Chairman, presiding.

Members Present:

W.M. “Tres” Hicks, Chairman
Guy Kesner, Vice Chairman
Bill Ramirez
Larchinee Turner
Brett Clay

Members Absent

Ben Donahue
Brett Drennan

Also present were members of the public and City staff as follows:

Todd Randall, Assistant City Manager
April Hargrove, Engineering Assistant
John Portulano, Lea County Planner
Medjine Desrosiers-Douyon, Deputy City Attorney
7 Citizen(s)

Anthony Henry, City Engineer
Angel Lopez Zamora, Project Manager

Call to Order and Roll Call

Ms. April Hargrove, Engineering Assistant, did a roll call for members as follows:

Mr. Ramirez-yes, Ms. Turner-yes, Mr. Kesner-yes, Mr. Drennan-absent, Mr. Clay-yes, Mr. Donahue-absent, and Mr. Hicks-yes. There were five members present at the meeting.

Mr. Hicks called the meeting to order at 10:00 a.m.

1.) Review and Consider Approval of Agenda

The first item of business was to review and approve the agenda for the March 17, 2026, regular meeting. Mr. Hicks asked if there were any additions or changes to the agenda. Mr. Randall stated there were no changes. Mr. Kesner made a motion, seconded by Ms. Turner to approve the agenda as presented. The vote on the motion was 5-0, and the motion carried.

2.) Review and Consider Approval of Minutes

Mr. Hicks asked if everyone had a chance to read the Regular Meeting Minutes from February 17, 2026. Mr. Kesner made a motion, seconded by Ms. Turner to approve the Regular Meeting Minutes as presented. The vote was recorded as follows: Ramirez yes, Kesner yes, Clay yes, Donahue absent, Turner yes, Drennan absent, Hicks yes. The vote on the motion was 5-0 and

the motion carried.

Communications from Citizens

None.

Action Items

3) Review and Consider Get-R-Done Storage Facility.

Mr. Randall stated this is a variance request for a proposed storage facility located along Seminole Highway, just east of the high school, with the Choose Life property to the south. He stated the site had previously been considered for an RV park but has since been purchased for development as a storage facility. Mr. Randall stated that representatives for the project were present.

Mr. Randall stated that the applicant is requesting a reduction of the required 40-foot front yard setback along Seminole Highway to approximately 25 feet. He noted that surrounding properties appear to meet the 40-foot setback requirement.

Mr. Randall stated that the applicant proposed constructing storage units along an existing drainage easement line on the south side of the property. He stated that while this does not technically require a variance since the applicant owns the property, the development would encroach upon a City drainage easement.

Mr. Bob Wiles, the applicant, confirmed that access for maintenance would still be provided.

Mr. Randall explained that a drainage easement exists along the front of the property. He stated that no vertical improvements should be placed within this easement; however, paving and parking would be acceptable.

Ms. Turner had questions regarding the placement of storage units along property lines and whether the buildings could serve as a buffer in lieu of fencing. Mr. Wiles stated that the storage units would be approximately 10–12 feet in height and would function as a visual and security barrier. Mr. Kesner agreed that the buildings could serve as adequate buffering, particularly given their height and continuous layout.

Mr. Randall discussed the fencing requirements along the north side adjacent to residential property. Mr. Hicks questioned whether the existing fencing, in combination with the proposed building placement, would provide sufficient screening. Mr. Wiles expressed his willingness to install additional buffering if required.

Mr. Randall discussed the landscaping requirements, noting that a minimum of 10% landscaping is typically required. He also addressed the possibility of allowing landscaping within the right-of-way, subject to approval from the New Mexico Department of Transportation (NMDOT), and excluding drainage easement areas from the landscaping calculation. Mr. Kesner suggested using low-maintenance, but functional landscaping.

Mr. Kesner made a motion to approve the requested variances, including a reduction of the front yard setback from 40 feet to 25 feet; acceptance of building placement along the easement line; and allowance for landscaping flexibility, including use of the right-of-way (subject to NMDOT approval) and exclusion of drainage easement areas from landscaping calculations. The motion was seconded by Mr. Ramirez. The vote was 5–0, and the motion passed.

4) Review and Approve Starret Subdivision.

Mr. Randall stated this is a request for the approval of Starret Subdivision. He noted that the Planning Board has reviewed this property previously. Mr. Randall stated that the original request involved the extension of Chuska Street, which included a right-of-way dedication as part of a prior subdivision that created Tract 2. He noted that at that time, the subdivision was approved with the understanding that the County had the roadway on its list for future pavement improvements. However, the road remains unpaved, and no timeline has been provided for construction. Mr. Randall stated that the roadway is currently considered a low priority, as it serves a limited number of structures and terminates as a dead-end.

Mr. Randall explained that the current request is to subdivide Tract 1 into two additional tracts, each approximately two acres in size, with roughly 150 feet of frontage along Chuska Street. He further explained that the original approval was supported in part because the right-of-way had been dedicated, allowing the County the ability to construct the roadway in the future.

Mr. Randall noted that additional subdivision requests may occur in the surrounding area, including property to the south. This could result in multiple tracts being created without permanent roadway access. He stated that any future residential development may require temporary emergency access improvements until the County completes the roadway.

In response to Mr. Ramirez’s questions, Mr. Randall confirmed that the property is located in the County, outside the city limits, north of Denver City Highway, and north of Kansas Street. He stated that the request will also be reviewed by the County Planning Board at a future meeting.

Mr. John Portulano, Lea County Planner, discussed the subdivision regulations and waiting periods. He clarified that tracts created through a subdivision are subject to a seven-year waiting period before further division, while certain exemption tracts may have a five-year restriction unless a full subdivision process is pursued.

Mr. Zachary Starret, the applicant, addressed the Board and stated that the roadway is currently accessible via a caliche surface that is cleared and maintained by property owners, with some limited maintenance performed by the County since the right-of-way dedication. He noted that emergency vehicles have been able to access nearby homes without issue.

In response to Mr. Kensner’s question regarding the fire code, Mr. Randall explained that fire code requirements mandate all-weather access roads within 150 feet of structures. He explained that in the County, this standard may be met with a properly constructed gravel or caliche road, provided it can support emergency vehicle loads. He stated that if the road is not formally

maintained by the County, an engineer's certification may be required to verify compliance. Mr. Randall indicated that confirmation of County maintenance of the roadway could allow the subdivision to proceed without additional delays.

Mr. Hicks entertained a motion to approve the subdivision request, contingent upon verification that the County is maintaining the roadway.

Mr. Ramirez made a motion to approve the request, seconded by Ms. Turner. The vote on the motion was 4-1, with Mr. Kesner opposing, and the motion passed.

Mr. Kesner expressed concerns regarding long-term infrastructure responsibility and fairness to taxpayers.

5) Review and Approve 25385 Arciniega Land Division.

Mr. Randall stated this is a sketch plan involving two half-section roadways. He stated that the proposal was brought forward as a sketch plan due to requests not to extend certain roadways. Mr. Randall described the location as south of Alabama Street and north of Kansas Street, noting the presence of an east-west half-section line and a north-south alignment. He further stated that the area includes portions of a previously developed subdivision (Mesquite Subdivision), and Matt Drive, which is not a county-maintained roadway.

Mr. Randall explained that the applicant is proposing to extend Braniff Road into the subdivision, but does not intend to extend it fully to the south. He stated that full extension of this roadway is required. Mr. Randall noted that a previously approved 60-foot easement exists that extends to Kansas Street along the half-section line, and there is also an existing easement serving part of the site. He further explained that the developer is requesting not to extend certain roadways, including a segment that would serve adjacent undeveloped properties. Mr. Randall noted that subdivision regulations require projection of all roadways, even if they are not currently constructed, to ensure future connectivity.

Mr. Evan Pointer, the surveyor, discussed whether all half-section and quarter-section roadways should be fully projected through the property. Mr. Randall emphasized the importance of maintaining connectivity and adhering to roadway projection requirements. Mr. Pointer expressed concerns about access to adjacent parcels, some of which currently lack direct public roadway access.

Mr. Pointer noted that the development is planned in phases, consisting of four separate subdivisions. In response to Mr. Hicks' question about the order of development, Mr. Pointer stated that the northwest portion is likely the first phase.

Mr. Ethan Marquez, with the development group, explained that certain roadway extensions were not proposed due to cost considerations and existing constraints, including adjacent property ownership and lack of connectivity to existing roadways such as World Drive.

Mr. Kesner discussed alternative layout options to improve connectivity and reduce infrastructure costs, including shifting lot configurations and reconsidering cul-de-sac

placement. He emphasized the need to balance economic feasibility with long-term infrastructure planning.

Mr. Randall discussed the addressed fire code requirements, noting that developments exceeding 30 units require at least two points of access. Mr. Hicks discussed concerns that, without certain roadway connections, only one access point may be available.

Mr. Randall noted that approval of any phase would require direct access to a public roadway, which may impact the order of development.

Mr. Hicks discussed that the half-section roadways must be projected and that overall connectivity between Braniff Road, Kansas Street, and surrounding roadways should be maintained, even if alignments vary.

Mr. Hicks stated that additional revisions are needed to address roadway projections and connectivity requirements.

Mr. Ramirez made a motion to table the sketch plan for resubmittal, seconded by Ms. Turner. The vote was recorded as follows: Ramirez yes, Kesner yes, Clay yes, Donahue absent, Turner yes, Drennan absent, Hicks yes. The vote on the motion was 5-0 and the motion carried.

6) Review and Approve Roberts Land Division.

Mr. Randall stated that this is the Roberts Land Division and further stated that there is an existing claimed exemption plat, and the request is for a lot line boundary adjustment. He stated the existing subdivision includes a parcel that is only accessed by a 30-foot easement leading to the tract.

Mr. Randall stated that the applicant is requesting to modify the boundary to facilitate the sale of the property. He noted that the property is located near Denver City Highway to the west and Rose Lane. He explained that there are half-section line roadways along both the north and east boundaries, but this request does not change those roadways.

Mr. Randall explained that the adjustment will not create additional lots; instead, it will maintain a remainder parcel that does not have direct access to a public roadway. He explained that since this is only a lot line adjustment and not a subdivision, no new lots are being created. He stated the remainder tract will stay intact unless future subdivision occurs, at which time access issues would need to be addressed.

In response to Mr. Hicks' question, Mr. Randall stated that the proposal is conceptual, as no final plat has been submitted. He explained that the applicant intends to sell the house while retaining the arena and agricultural portion of the property.

Mr. Hicks discussed the private easement access. Mr. Randall noted that while access exists, staff typically try to correct access deficiencies when possible. He explained that in this case, there is no clear way to improve access without creating additional nonconforming lots. Therefore, maintaining the larger remainder tract avoids creating further issues.

Mr. Randall stated that there is an opportunity to require a 30-foot easement dedication along the half-section lines on the north and east sides. However, there are existing encroachments in those areas. In response to Mr. Kesner's question, Mr. Randall stated that the property is under common ownership, though separate tracts can still be sold independently.

Mr. Hicks discussed whether requiring the easement dedication at this stage is premature, given the uncertainty of future development. Mr. Randall confirmed that easements can be required as part of a lot line adjustment.

In response to Mr. Hicks' question, Mr. Randall confirmed that a north-south easement already exists along Rose Lane; there is currently no east-west easement along the section line. Mr. Hicks agreed that securing the easement now could help preserve the right-of-way and prevent future encroachments.

Mr. Randall explained the standard practice for half-section lines, typically requiring 30 feet of dedication on each adjoining property. He noted that portions of the section line may already be platted and that requiring the easement would help reserve the area for future roadway development.

Following the discussion, Mr. Ramirez made a motion to approve the lot line adjustment with the condition that the applicant consider dedicating a 30-foot easement along the west side, seconded by Mr. Clay. The vote on the motion was 5-0, and the motion carried.

7) Review and Approve Saldago Subdivision.

Mr. Randall stated that the Saldago Subdivision is a single tract of land off Illinois. He stated that staff is requiring a 30-foot dedication on the south side and a surface easement on the east side. He explained that this dedication creates a single piece of property within the subdivision and that staff cannot approve this request administratively.

Mr. Randall further explained that the property accesses a paved section off Illinois, which the County has improved within the existing right-of-way. The additional 30-foot dedication is requested to allow for future roadway expansion, ensuring a full 60-foot width. He noted that a private access roadway currently exists, approximately 30 feet wide, representing the portion the County was able to pave, and that the middle portion of the property, which has been split off to separate ownership.

In response to Mr. Kesner's question, Mr. Randall confirmed that the location is south of Humble City and north of HIAP.

Mr. Hicks asked if this item is being brought to the board because a dedication is required. Mr. Randall responded that the City can approve subdivisions administratively for up to three lots. He noted that this is a summary subdivision for the County. Mr. Hicks stated that it appears to meet all requirements.

Mr. Ramirez made a motion to approve the Saldago Subdivision, seconded by Ms. Turner. The vote on the motion was 5-0, and the motion carried.

Discussion Items:

8) Traffic Calming Campaign

Mr. Randall provided a brief update, noting that work on the traffic calming campaign is ongoing. No new materials were presented at this time.

Adjournment

The meeting adjourned at 11:22 a.m.

W.M. "Tres" Hicks, Chairman

3) Review and Consider Front Yard and Side Yard Variance for Fence in Public Right-of-Way (Major Thoroughfare Plan) at 624 East Humble Street.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

SUBJECT: Front Yard and Side Yard Variance for Fence in Public Right-of-Way (Major Thoroughfare Plan) at 624 East Humble Street.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: March 4th, 2025
SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

The Property Owner is requesting approval to continue to build their 5'-0" fence, 9'-4" from back of curb for the Front Yard and 4'-11" from back of curb on the Side Yard. The fence is built in the public right-of-way in both yards. The fence was previously grandfathered into the 2005 Major Thoroughfare Plan. However, once the property owner began new construction on the fence, the 2005 Major Thoroughfare Plan requirements were triggered. Additionally, the fence was constructed without permitting and subsequently red-tagged. The Major Thoroughfare Plan requires fences to be built at 2'-0" height at the property line, and gradually increasing to 6'-0" at a property's setback. Humble and Morris are both 80' ROW streets.

Staff Recommendations:

Planning Department:

Staff is recommending that the fence be moved 20'-0" back to their property line to follow the Major Thoroughfare Plan requirements. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Site Pictures
- Application by Resident
- Site Map
- Certified Mail Receipts / Vote Tally



Front Yard - Fence Post



Front Yard - Fence Measurement



Side Yard - Fence Post



Side Yard - Fence Measurement



Neighborhood Sign Posting



Neighborhood Sign Posting





All Photos Taken During from March 12th and March 30th,
Site Visit + Planning Board Sign Posting

624 E Humble Street (Notification Map)



Legend

-  - Petitioning Address
-  - Notification Addresses

IN REGARDS TO A VARIANCE REQUEST ALLOWING A FENCE TO BE BUILT IN PUBLIC RIGHT-OF-WAY AT 624 EAST HUMBLE STREET

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 03 2026

IN REGARDS TO A VARIANCE REQUEST ALLOWING A FENCE TO BE BUILT IN PUBLIC RIGHT-OF-WAY AT 624 EAST HUMBLE STREET

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 03 2026

IN REGARDS TO A VARIANCE REQUEST ALLOWING A FENCE TO BE BUILT IN PUBLIC RIGHT-OF-WAY AT 624 EAST HUMBLE STREET

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 03 2026

IN REGARDS TO A VARIANCE REQUEST ALLOWING A FENCE TO BE BUILT IN PUBLIC RIGHT-OF-WAY AT 624 EAST HUMBLE STREET

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 06 2026

IN REGARDS TO A VARIANCE REQUEST ALLOWING A FENCE TO BE BUILT IN PUBLIC RIGHT-OF-WAY AT 624 EAST HUMBLE STREET

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 07 2026

Opinion Totals 624 E. Humble St.

Date	Certified Mail	Sent	Approved	Denied	Returned	Unresponsive
3/27/2026	✓	13	2	2	1	1-No Vote - Blank
	13 Sent					
Property Owners		8				
Residents		4				
Applicant		1				
TOTALS	2	8	2	2	1	1



**THE CITY OF
HOBBS, NEW MEXICO**

**200 East Broadway St.
Phone (575) 397-9351**

**Hobbs, New Mexico 88240-8425
Facsimile (575) 397-9227**

FENCE PERMIT APPLICATION

RECEIVED APR 09 2026

Location (Address): <u>624 E. Humble</u>
Owner: <u>Rodolfo Tarin</u>
Contact Person: <u>Cesar Tarin</u>
Phone: <u>432-288-3875</u>

Date: <u>4-2-26</u>
Permit Fee:

Contractor: <u>Rodolfo Tarin</u>	Contact: <u>Cesar Tarin</u>
Address: <u>624 E Humble</u>	Phone: <u>432-288-3875</u>

Fence Information <input type="checkbox"/> Privacy <input type="checkbox"/> Wood Height _____ <input checked="" type="checkbox"/> Non-Privacy <input type="checkbox"/> Vinyl Height _____ <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Ornamental Height _____ <input type="checkbox"/> Commercial <input type="checkbox"/> Chain Link Height _____ <input type="checkbox"/> <input type="checkbox"/> Block Height _____ <input checked="" type="checkbox"/> Metal Height <u>5'</u>	Site Information <input checked="" type="checkbox"/> Corner Lot (Street along front and side) <input type="checkbox"/> Interior Lot <input type="checkbox"/> Sidewalk <input type="checkbox"/> Survey of fence line
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Submittal Requirements

The following must be submitted to the Planning Department for review of your application.

- Completed and signed application
- Completed site plan that shows the following:
 - Location of all property lines and dimensions of lot;
 - Location of all adjacent streets;
 - Location, dimensions and type of all sidewalks;
 - Location of all existing structures;
 - Proposed fence locations (existing and proposed) and height.

I hereby certify that the information contained in this application and accompanying drawings or plats is correct and that I will conform to all applicable requirements of the city of Hobbs. Further, I understand if the fence is installed incorrectly I shall be required to remove and replace fencing or action may be taken.

Rodolfo Tarin
Signature of Applicant

Approved as per plat
Denied as per plat

Approved By:
Date

Please note: This permit is valued for a six month period following the approval date and the permit will terminate in _____.



VARIANCE APPLICATION

RECEIVED APR 09 2026

Application Date: 4-2-26

Variance for (circle one): front yard / side yard

Property Owner: Rodolfo Tarin

Phone: 575-318-3750

Address of proposed structure: 624 E Humble

Subdivision (if known): Lot & Block # (if known):

Type of proposed structure: Fence Dimensions of proposed structure: 65 ft wide, 5 ft height

Are subdivision covenants and/or deed restrictions available? NO if so, please attach a copy.

The existing front/side setback for the structure at the above address is 20 feet. If the variance is approved, the new front/side setback with the front improvement will be 10 feet.

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences/porches in vicinity (if any):

Table with 2 columns listing addresses: 606 E Humble, 618 E Humble, 622 E Humble, 702 E Humble, 609 E Humble, 615 E Humble, 617 E Humble, 621 E Humble, 701 E Humble, 705 E Humble.

Please attach the following documents:

- Copy of Building Permit Application.
• Sketch Plan showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
• Copy of Covenants and/or Deed Restrictions, if any.
• Signature Sheet containing signatures of adjacent property owners within 150 feet of above referenced lot.

Return completed form to: City-Hall - Planning Division, 200 E. Broadway St., Hobbs, NM 88240, P: 575-397-9232, F: 575-397-9227

Rodolfo Tarin Property Owner Signature Date

**CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION**
(To Front and/or Side Yard Setback Requirement)
Adjoining Property Owner Notification

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within **150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: 4-2-26

RECEIVED APR 09 2026

Applicant: Rodolfo Tarin

Phone: 575-318-3750

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 624 E Humble, Hobbs, NM 88240

Address of proposed structure: 624 E Humble, Hobbs, NM 88240

Subdivision (if known): _____ Lot & Block # (if known): _____

Type and dimensions of proposed structure (see attached drawing for details): _____

The existing front/side setback for the structure at the above address is _____ feet. If the variance is approved, the new front/side setback with the front/side improvement will be _____ feet.

If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone #	Do you support request? Y / N
	606 E Humble	Carlos Gaytan	303 419 3186	Y
	618 E Humble	Oscar Palma	575 399-1533	Y
	622 E Humble	Oscar Palma	575-399-1533	Y
	702 E Humble	Jesus Torres	432 3084163	Y
	609 E Humble			
	615 E Humble	Mario Lopez	575 396 5185	Y
	617 E Humble	Dora Delgado	575-441-6579	Y
	621 E Humble	Dora Delgado	575 631 9330	Y
	701 E Humble	Valerio Curcio	575 605 0857	Y
	705 E Humble	Ubaldo Curcio	575 441 0277	Y

*Deed Restrictions, **if available**, are located in the Planning Division.



VARIANCE APPLICATION

RECEIVED APR 09 2026

Application Date: 4-2-26

Variance for (circle one): front yard / side yard

Property Owner: Rodolfo Tarin

Phone: 575-318-3750

Address of proposed structure: 624 E. Humble

Subdivision (if known): Lot & Block # (if known):

Type of proposed structure: Fence Dimensions of proposed structure: 150 ft length, 5 ft height

Are subdivision covenants and/or deed restrictions available? NO if so, please attach a copy.

The existing front/side setback for the structure at the above address is 20 feet. If the variance is approved, the new front/side setback with the front improvement will be 5 feet.

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences/porches in vicinity (if any):

Table with 2 columns and 8 rows. First cell contains handwritten text: 11 (AF-22)

Please attach the following documents:

- Copy of Building Permit Application.
Sketch Plan showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
Copy of Covenants and/or Deed Restrictions, if any.
Signature Sheet containing signatures of adjacent property owners within 150 feet of above referenced lot.

Return completed form to: City-Hall - Planning Division, 200 E. Broadway St., Hobbs, NM 88240, P: 575-397-9232, F: 575-397-9227

Property Owner Signature: [Signature] Date

**CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION**
(To Front and/or Side Yard Setback Requirement)
Adjoining Property Owner Notification

COPY

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within **150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: 4-2-26

RECEIVED APR 09 2026

Applicant: Rodolfo Tarin

Phone: 575-318-3750

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 624 E Humble, Hobbs, NM 88240

Address of proposed structure: 624 E Humble, Hobbs, NM 88240

Subdivision (if known): _____ Lot & Block # (if known): _____

Type and dimensions of proposed structure (see attached drawing for details): _____

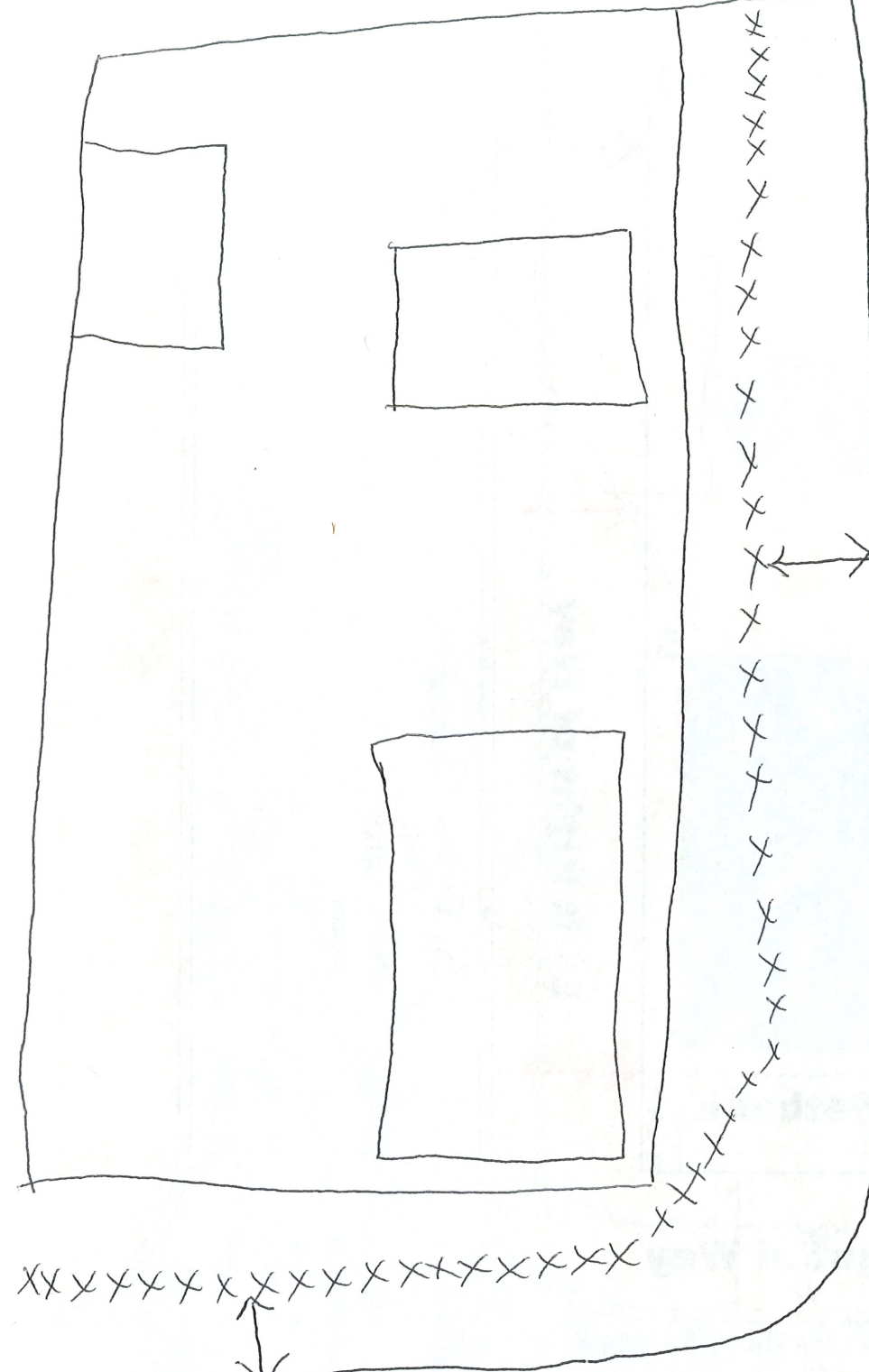
The existing front/side setback for the structure at the above address is _____ feet. If the variance is approved, the new front/side setback with the front/side improvement will be _____ feet.

If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone #	Do you support request? Y / N
	606 E Humble	Carlos Gray	3034193186	Y
	608 E Humble	Oscar Pulido	575 399-1533	Y
	622 E Humble	Oscar Pulido	575-399-1533	Y
	702 E Humble	Jesus Torres	432 3084163	Y
	609 E Humble			
	615 E Humble	MMA-Elia	575 396 5185	Y
	617 E Humble	Dora Delgado	575-441-6579	Y
	621 E Humble	Dore J	5756319330	Y
	701 E Humble	Valentin	575 6050857	Y
	705 E Humble	Ubaldo Cuevas	575 441 6027	Y

*Deed Restrictions, **if available**, are located in the Planning Division.



5' Existing : Proposed
Fence
5' height

Morris

Back of Crib

10 ft Existing : Proposed
Fence 5' height

Humble

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4) Review and Consider Front Yard Violation of 5ft “No Build Zone” from Property Line,
Carport Built 1.5ft into “No Build Zone” at 515 East Corbett Street.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

**SUBJECT: Front Yard Violation of 5ft "No Build Zone" from Property Line,
Carport Built 1.5ft into "No Build Zone"**

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: February 9th, 2025
SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

The Property Owner is requesting approval to keep carport 1'-6" into the "No Build Zone", or 13'-6" from the Back of Curb. The Major Thoroughfare Plan requires that no structures are built 5'-0" from the property line or 15'-0" from Back of Curb. Additionally, the Building Safety Dept. has requested revised plans.

Staff Recommendations:

Planning Department:

Staff is recommending that the fence be moved 1'-6" back (15'-0" from Back of Curb) to be in compliance with Major Thoroughfare Plan requirements. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Application by Resident
- Certified Mail Receipts



VARIANCE APPLICATION

RED TAG

Application Date: 3/2/2026

Variance for (circle one): front yard side yard

Property Owner: Laura Cano

Phone: (575) 942-0204

Address of proposed structure: 515 E Corbett St, Hobbs NM 88240

Subdivision (if known): East end add Lot & Block # (if known): Lot 3 of E. 22.5' of 4 Blk: 171

Type of proposed structure: Carport Dimensions of proposed structure: 24ft x 20ft x 8'10"
W L H

Are subdivision covenants and/or deed restrictions available? If so, please attach a copy.

The existing front/side setback for the structure at the above address is 21 feet. If the variance is approved, the new front/side setback with the front improvement will be 5 feet.

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences/porches in vicinity (if any): 4000110140001

Table with 2 columns and 6 rows containing addresses: 512 E Corbett St. Hobbs, NM; 518 E. Corbett St. Hobbs, NM; and four empty rows.

Please attach the following documents:

- Copy of Building Permit Application.
• Sketch Plan showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
• Copy of Covenants and/or Deed Restrictions, if any.
• Signature Sheet containing signatures of adjacent property owners within 150 feet of above referenced lot.

Return completed form to: City-Hall - Planning Division, 200 E. Broadway St., Hobbs, NM 88240, P: 575-397-9232, F: 575-397-9227

Laura Cano 3/3/26
Property Owner Signature Date

**CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION**

(To Front and/or Side Yard Setback Requirement)
Adjoining Property Owner Notification

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

RED TAG

Date: 3/2/2026

Applicant: Laura Cano

Phone: (575) 942-0204

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 515 E. Corbett St. Hobbs NM 88240

Address of proposed structure: 515 E Corbett St. Hobbs NM 88240

Subdivision (if known): East end add Lot & Block # (if known): lot 3 & E. 22.5' of 4 BK: 171

Type and dimensions of proposed structure (see attached drawing for details): Carport 24ft x 20ft x 8ft
W L H

The existing front/side setback for the structure at the above address is 21 feet. If the variance is approved, the new front/side setback with the front/side improvement will be 5 feet.

If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

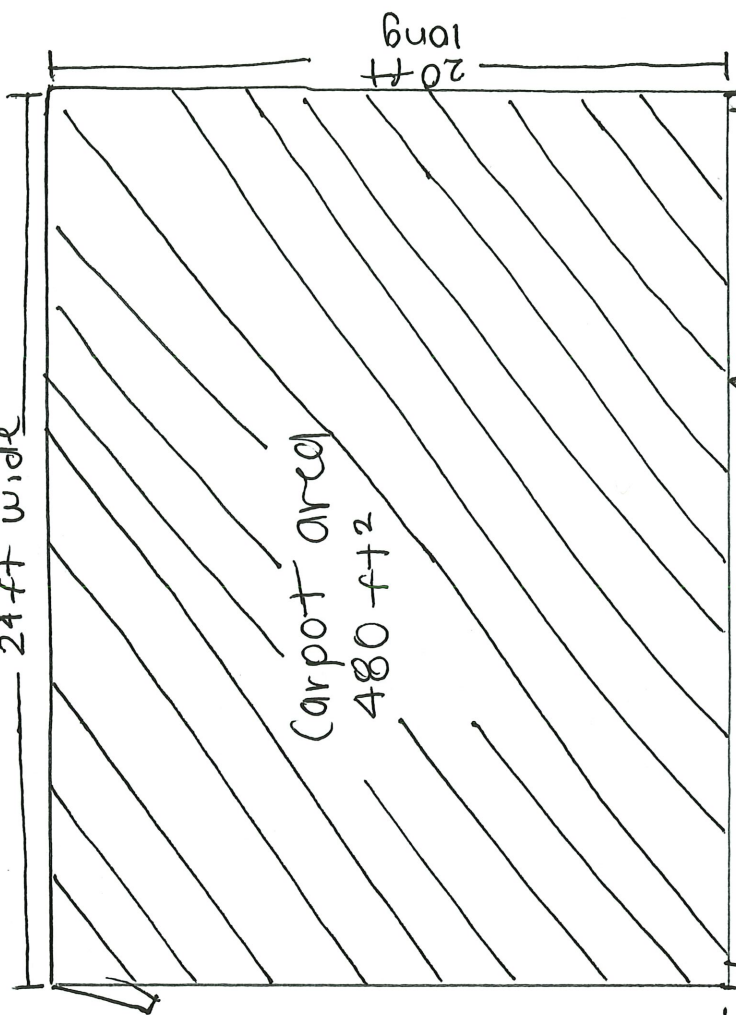
Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone #	Do you support request (Y/N)
ERNE DE LEON	909 N. SELMAN		575-631-0100	Y
Ryan Jeter	524 E. Corbett		575-263-1140	Y
Maria P. Osida	506 E Corbett		915 618 8422	Y
Alexandra Muniz	500 E Corbett St		915 474 6977	Y
Ana Laura Cano	501 E Corbett St	Ana Laura Cano	575-942-1694	Y
Royce Tarrin	518 E. Corbett		575-402-4514	Y
David P. Fisher	505 E Corbett		575-393-3997	Y
	512 E. Corbett St.		No contestaron	

*Deed Restrictions, if available, are located in the Planning Division.

House
515 E. Corbett St.

24 ft wide



Carport area
480 ft²

20 ft long

8'10" H

Distance towards the street

12'10"

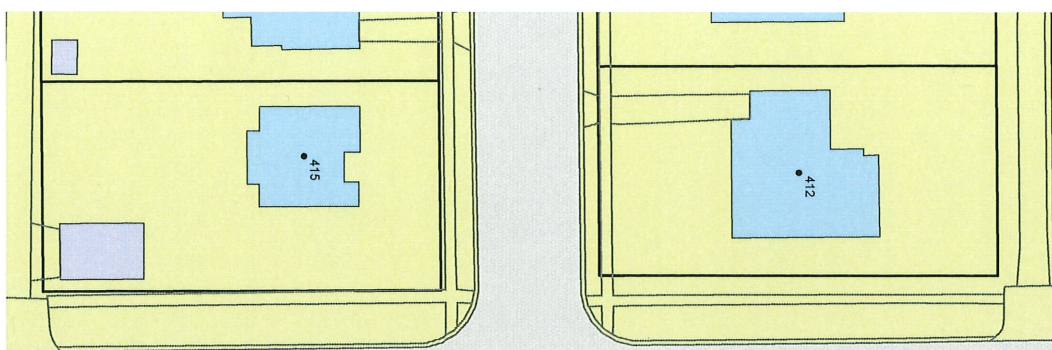
Sidewalk

Back of Curb

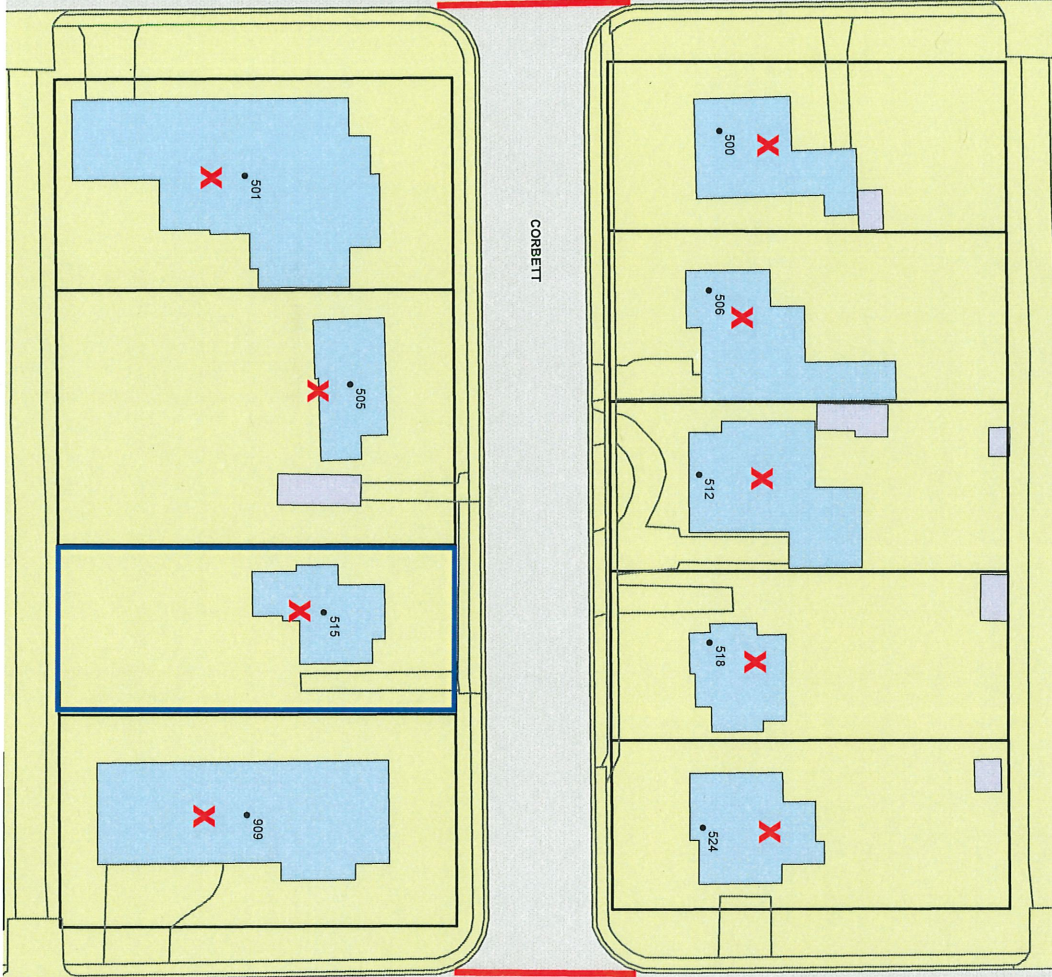
Neighbor 909 N. Selman St.

Neighbor 505 E Corbett St.

--- Corbett St ---

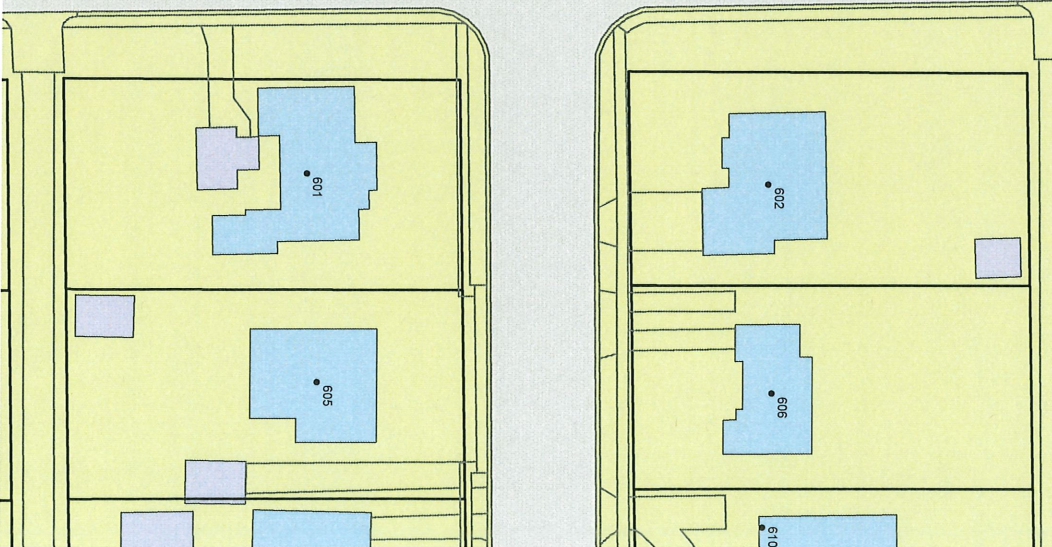


HOUSTON

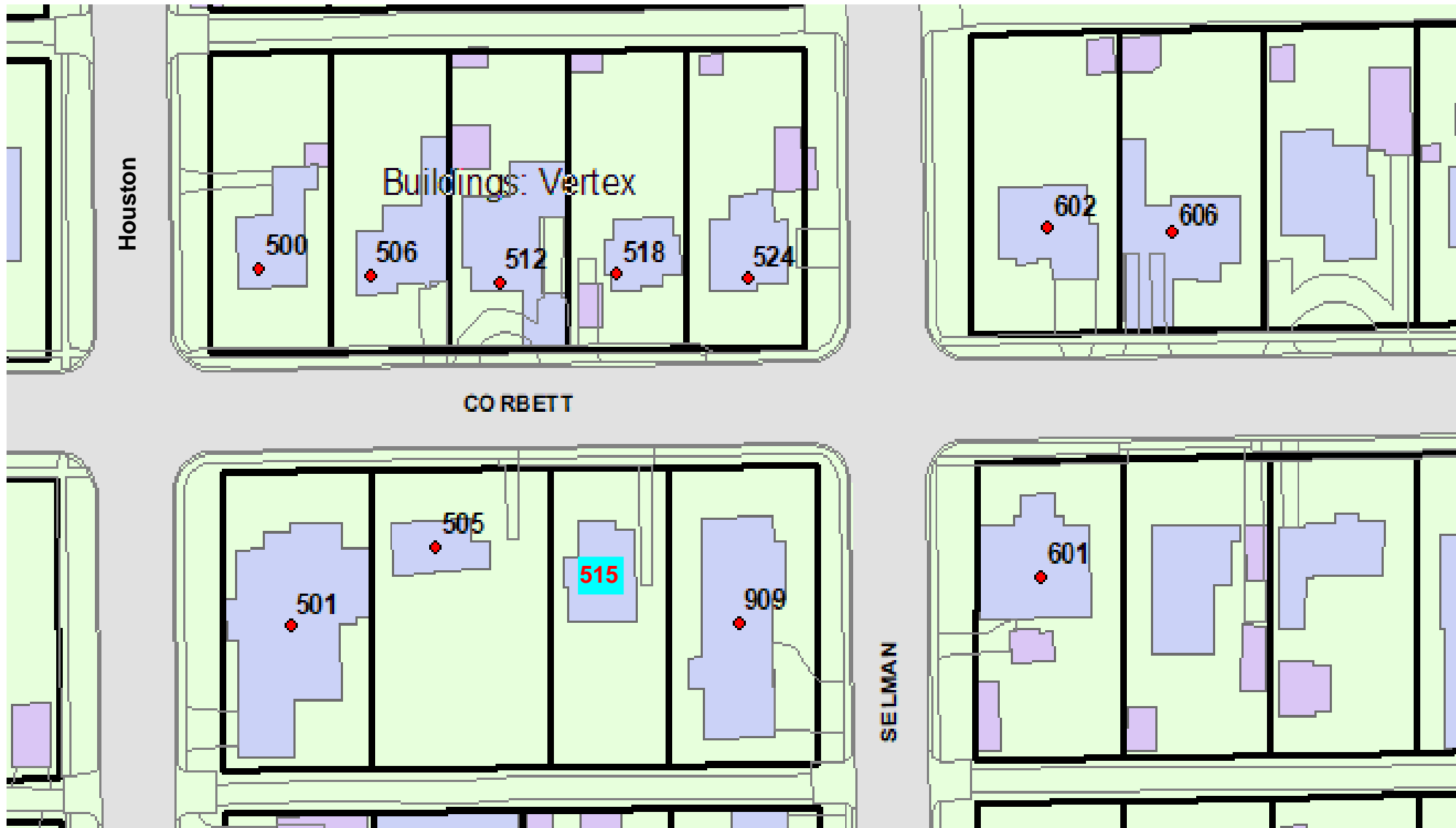


CORBETT

SELMAN



Notification Addresses - 150ft from 515 E Corbett Street



**IN REGARDS TO A VARIANCE REQUEST ALLOWING AN OPEN
WALL CARPORT TO REMAIN AT 515 EAST CORBETT STREET.**

Property Owners Opinion:



I prefer that the City of Hobbs Planning Board:

Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 03 2025

**IN REGARDS TO A VARIANCE REQUEST ALLOWING AN OPEN
WALL CARPORT TO REMAIN AT 515 EAST CORBETT STREET.**

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 03 2026

**IN REGARDS TO A VARIANCE REQUEST ALLOWING AN OPEN
WALL CARPORT TO REMAIN AT 515 EAST CORBETT STREET.**

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 03 2026

**IN REGARDS TO A VARIANCE REQUEST ALLOWING AN OPEN
WALL CARPORT TO REMAIN AT 515 EAST CORBETT STREET.**

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 07 2026

**IN REGARDS TO A VARIANCE REQUEST ALLOWING AN OPEN
WALL CARPORT TO REMAIN AT 515 EAST CORBETT STREET.**

Property Owners Opinion:

I prefer that the City of Hobbs Planning Board:

- Approve the variance request and allow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.
- Deny the variance request and disallow a structure to be placed in violation of the City of Hobbs Major Thoroughfare Plan Requirements.

Follow rules

Note: Your opinion will be kept confidential when reported to the Planning Board.

RECEIVED APR 07 2026

Opinion Totals 515 E. Corbett St.

Date	Certified Mail	Sent	Approved	Denied	Returned	Unresponsive
3/27/2026	✓	14	3	2		
	14 Sent					
Property Owners		11				
Residents		2				
Applicant		1				
TOTALS	6	11	3	2	0	0

5) Review and Consider Tanglewood Unit 7 Existing 80ft
Easement for Minor Collector
Roadway, Additional 25ft to 35ft.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

SUBJECT: REVIEW AND CONSIDER THE TANGLEWOOD UNIT 7 EXISTING 80FT EASEMENT FOR MINOR COLLECTOR ROADWAY, ADDITIONAL 25FT TO 35FT

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: March 23th, 2026
SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

The Ross Group is presenting sketch plan of Tanglewood Unit 7 for review of existing 80ft easement for Minor Collector Roadway and an additional 25ft to 35 ft easement.

Staff Recommendations:

Planning Department:

Staff has no objection to the documents presented. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Preliminary Drawings
- Site Map

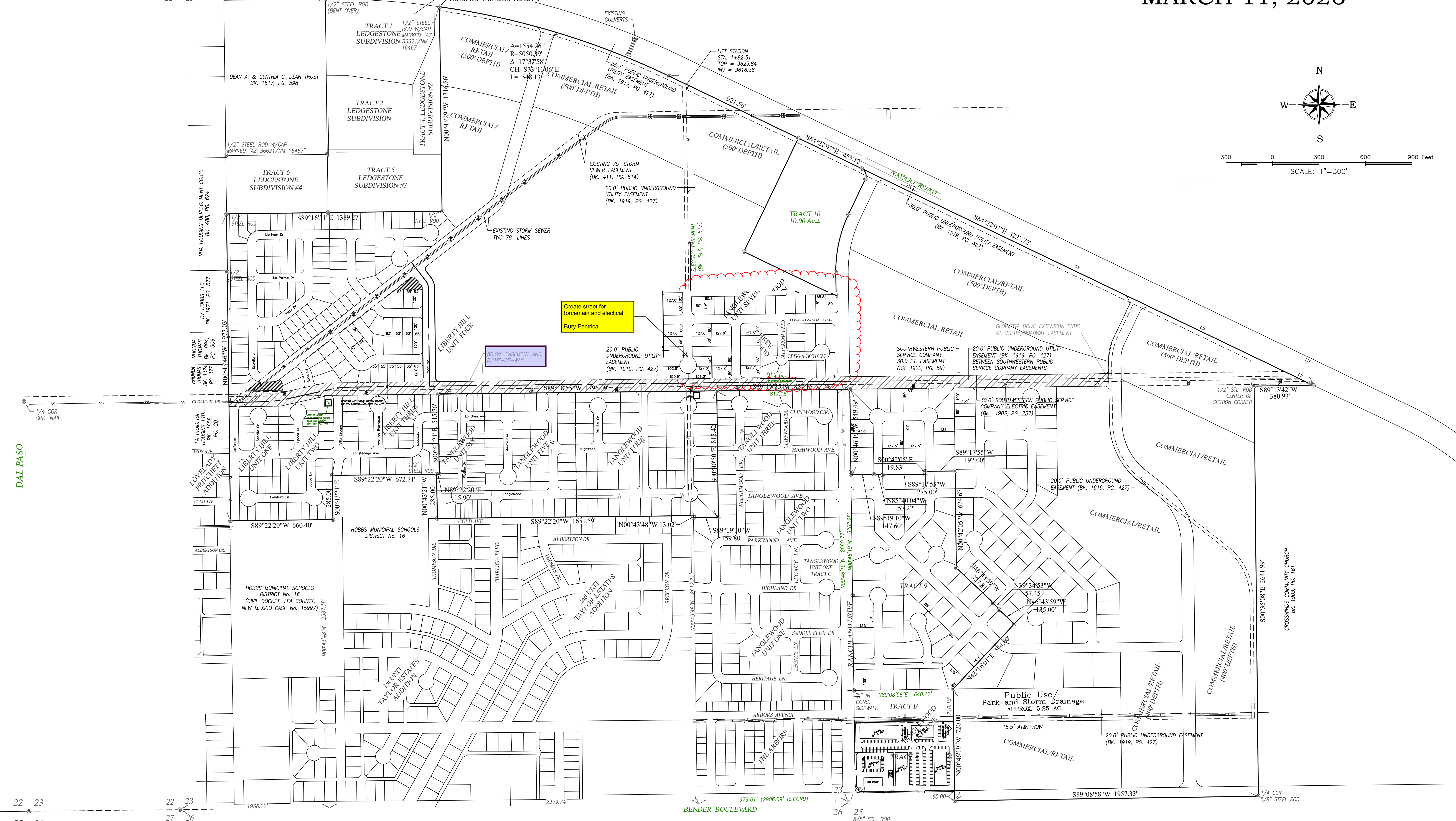
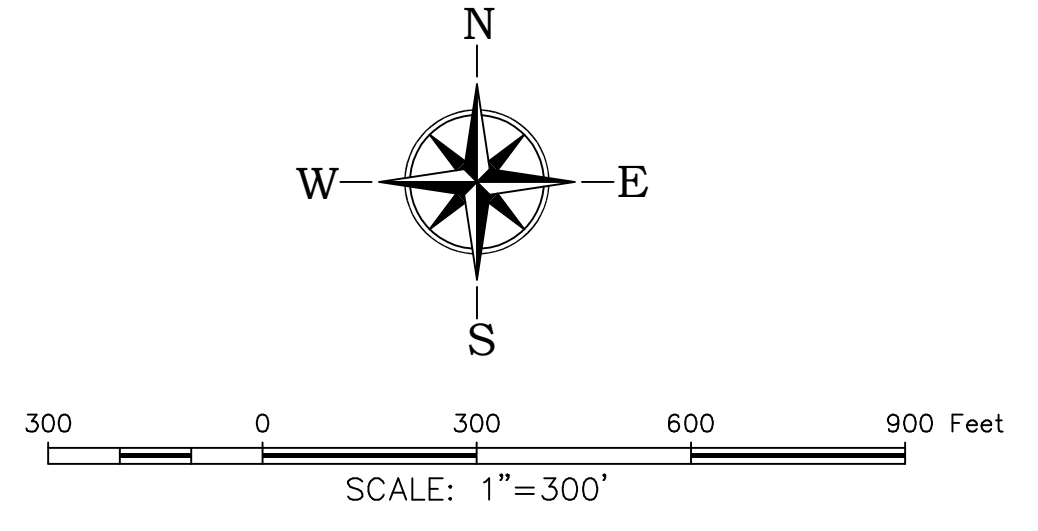
RANCHVIEW ESTATES REVISED MASTER PLAN MARCH 11, 2026

15 14
22 23

15 14
22 23

14 13
23 24

1/4 COR.
SET STONE
W/2"x2"



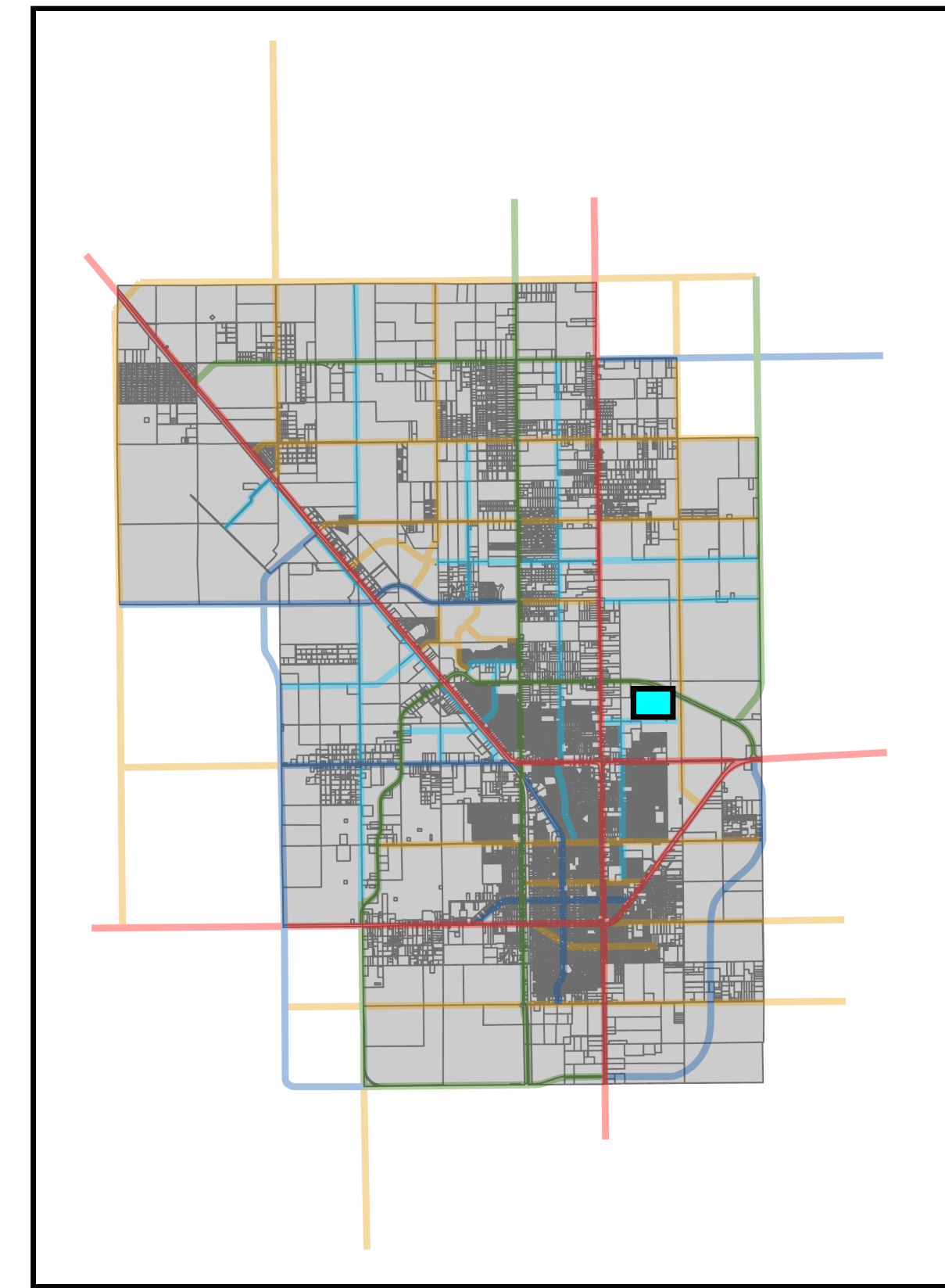
22 23
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27 26

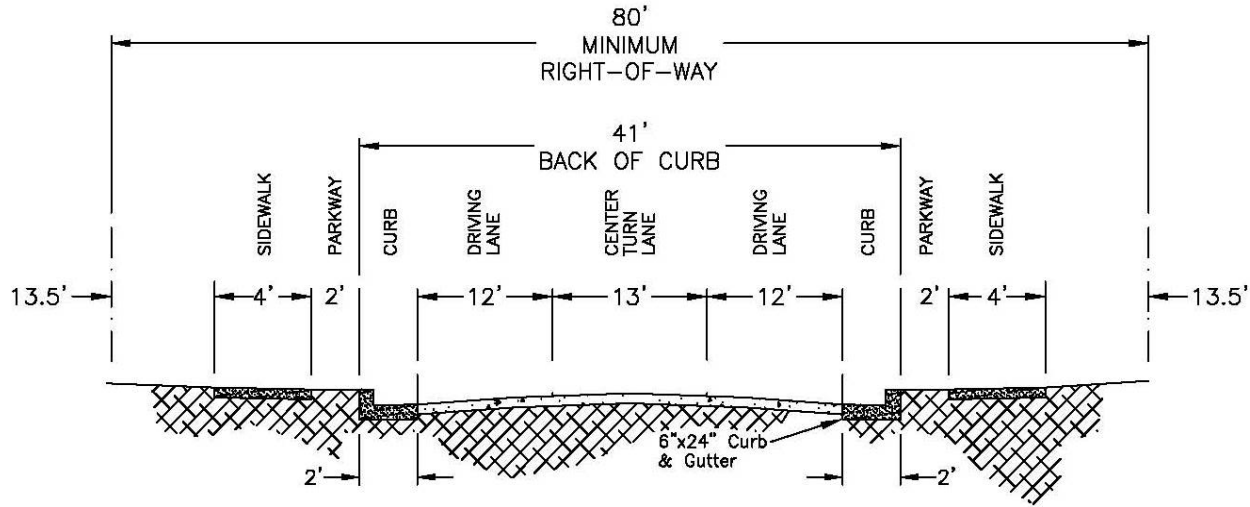
23 24
26 25

B.C. IN CONC. &

5/8" STL. ROD






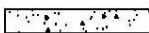

Ranchview Estates (Tanglewood Unit 7)



NOTES:

- Min. Right-of-Way Required: 80'
- Driving Lane Width: 12'
- Min. # of Driving Lanes: Two 12' driving lanes and one center turn lane.
- Center Turn Lane Width: None required.
- On Street Parking Permitted: Yes
- Bike lanes: None
- Sidewalks: 4' Sidewalk on both sides with 2' parkway separation from curb.
- Utility Corridor: 10' Easements on each side of right-of-way, or as required by City & Private Utilities.
- Access Control Policy: Access at streets, alleys, and individual properties.
- Minimum Pavement Width: 41' Back of Curb to Back of Curb

LEGEND

-  SIDEWALK
-  CURB & GUTTER
-  PAVED ROADWAY
-  COMPACTED STATE APPROVED BASE COURSE
-  EXISTING SUB-GRADE MATERIAL

DRAWING DATE <hr style="border: none; border-top: 1px solid black;"/>	CITY OF HOBBS, NEW MEXICO DEPARTMENT OF ENGINEERING	REVISIONS
APPROVED BY <hr style="border: none; border-top: 1px solid black;"/>	MINOR COLLECTOR SECTION	PAGE NO. 19

6) Review and Consider Urias Land Division into 4 Lots, 30'
Surface/Subsurface
Easement.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

SUBJECT: REVIEW AND CONSIDER URIAS LAND DIVISION INTO 4 LOTS, 30' SURFACE/SUBSURFACE EASEMENT

DEPT. OF ORIGIN: Planning Department

DATE SUBMITTED: March 23th, 2026

SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

Review and consideration of the Urias Subdivision, 30' easement on east side of lot 4. Consider Stanolind RV Park and Sewer Extension to the south of the Urias Subdivision. 30' easement to allow utilities to be extended to RV Park.

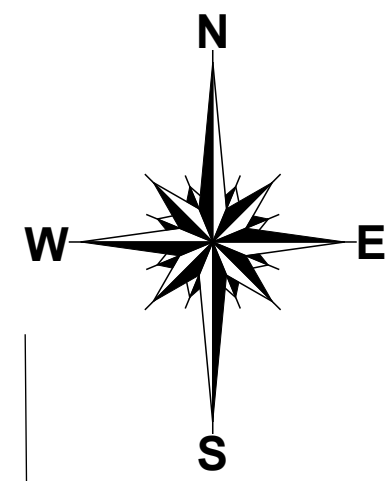
Staff Recommendations:

Planning Department:

Staff has no objection to the documents presented. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Preliminary Drawings
- Site Map



LEGEND:

- ⊙ - DENOTES SET 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641", UNLESS NOTED OTHERWISE
- ⊙ - DENOTES FOUND 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641", UNLESS NOTED OTHERWISE

URIAS LAND DIVISION
CITY OF HOBBS, LEA COUNTY, NEW MEXICO

THE FOREGOING SUBDIVISION OF A TRACT LAND DESCRIBED IN THAT CERTAIN WARRANTY DEED, FILED JULY 02, 2018, IN BOOK 2136, PAGE 267, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO

DESCRIPTION TRACT:

THE FOREGOING SUBDIVISION OF A TRACT LAND DESCRIBED IN THAT CERTAIN WARRANTY DEED, FILED JULY 02, 2018, IN BOOK 2136, PAGE 267, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, SITUATED IN THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

APEX PIPE RENTAL LLC
 (BK. 1976, PG. 497)

LEGACY RESERVES
 OPERATING LP
 (BK. 1973, PG. 542)

VICTOR NAJERA
 (BK. 1972, PG. 264)

KENDALCO LIMITED LIABILITY
 (BK. 2162, PG. 412)

ERICK URIAS
 (BK. 1979, PG. 315)

ERICK URIAS
 (BK. 1704, PG. 233)

LOT 2
132544.7484 Sq. Ft.
3.04281 Acs.

LOT 3
132640.2460 Sq. Ft.
3.04500 Acs.

LOT 4
132651.9485 Sq. Ft.
3.04527 Acs.

LOT 1
36674.22 Sq. Ft. 0.84 Acs.

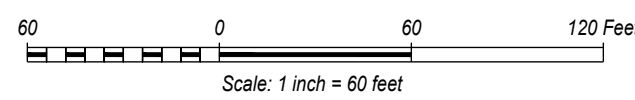
CITY OF HOBBS
 WASTEWATER
 TREATMENT PLANT

BOW WOW

DAL PASO STREET

STANOLIND ROAD

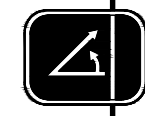
TERRY JO GLENN
 (BK. 2179, PG. 525)



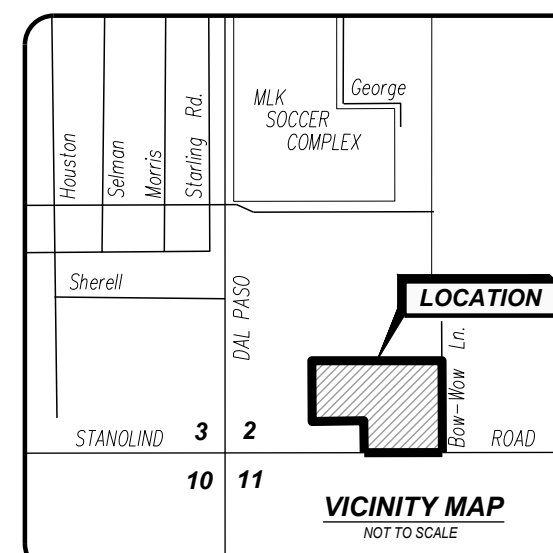
SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAN AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____



PROVIDING SURVEYING SERVICES
 SINCE 1946
JOHN WEST SURVEYING COMPANY
 412 N. DAL PASO, HOBBS, N.M. 89240
 (575) 393-3117 www.jwsc.biz
 TBPLS# 10021000



Scale: One Inch = Sixty Feet
 CAD Drafter & Date: DSS - 08/17/2022
 Checked By: _____
 JWSC W.O. No.: 22.11.0298
 JWSC File No.: E- _____
 © Donna S. Subdivision 22110298 Urias SW4SW4 S2 T19 R38
STATE OF NEW MEXICO
COUNTY OF LEA - FILED:



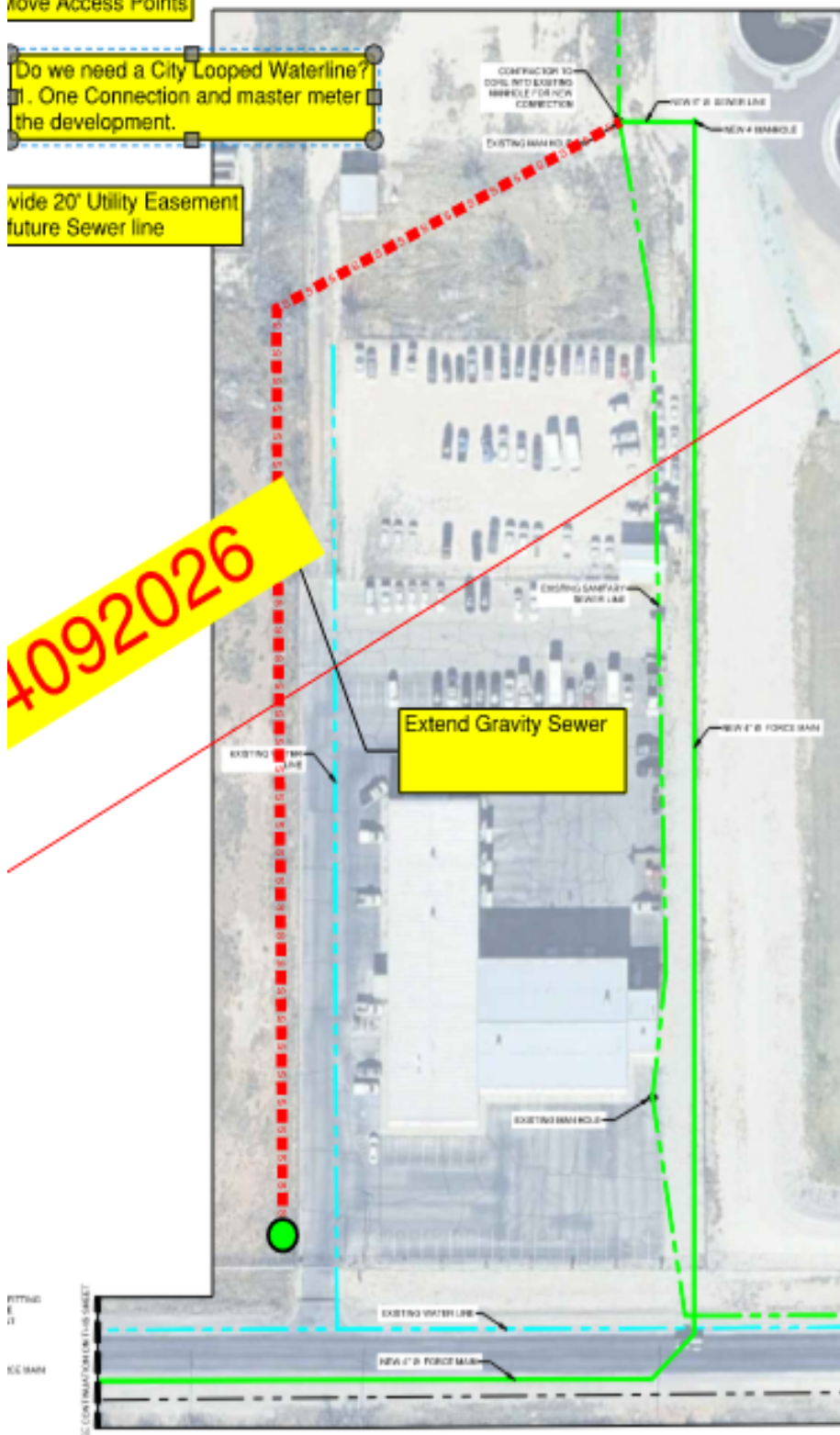
Reference Address: 912 E STANOLIND RD

Move Access Points

Do we need a City Looped Waterline?
1. One Connection and master meter
the development.

Provide 20' Utility Easement
future Sewer line

4092026



GENE1

A	CO
	OK
	01
	VC
	LR
	SK
	AI
	FB
	FB
B	AI
	EN
	SL
	ER
C	MP
D	SP
	PO
	01
E	TH
	WB
	CO
	FB
F	CO
	LR
	AI
	TH
	AI
	ON
G	TH
	TO
	MP
	FB
	AI
H	TH
	FB
	LO
	ON
	01
	AI

RTING
E
R
CC MAN
SEE CONTINUATION ON THIS SHEET

7) Review and Consider Trinity Unit 4 Subdivision Layout,
57 Lots



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

SUBJECT: REVIEW AND CONSIDER TRINITY UNIT 4 SUBDIVISION LAYOUT, 57 LOTS

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: March 23th, 2026
SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

Review and consideration of the Trinity Unit 4 Subdivision layout, and the 57 lots

Staff Recommendations:

Planning Department:

Staff has no objection to the documents presented. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Preliminary Drawings
- Site Map

SUBDIVISION PLANS TRINITY ESTATES, UNIT 4 STUARD DEVELOPMENT

CITY OF HOBBS, NEW MEXICO

MARCH, 2026



LOCATION MAP

Not to Scale

I N D E X O F S H E E T S

SHEET	DESCRIPTION
1	COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP
2	GENERAL NOTES & MATERIALS SPECIFICATIONS
3	MASTER LAYOUT
4	PRELIMINARY PLAT PROVIDED BY JOHN WEST SURVEYING (PENDING)
5	STORM PLAN & PROFILE
6	FROST PLAN & PROFILE 1
7	FROST PLAN & PROFILE 2
8	RAIN PLAN & PROFILE
9	TROZO PLAN & PROFILE
10	INTERSECTION DETAILS
D1	ROADWAY DETAILS
D2	WATER DETAILS
D3	SEWER DETAILS
D4	SEWER DETAILS CONTINUED
D5	DRY UTILITY TRENCHING LAYOUT (PENDING) <small>(Provided by Xcel Energy)</small>
D6	ELEC/TELE/CABLE TRENCH DETAILS & USPS CLUSTER BOX DETAILS
17	LOT GRADING

SPECIFICATIONS: Street Construction

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction" 1987 Edition (herein-after abbreviated NMSS), except as otherwise specified herein.
- Earthwork shall be considered incidental to the street construction unless otherwise indicated in the bid proposal. All roots and other vegetation shall be removed from areas to be covered by asphalt or concrete. The subgrade shall be accurately shaped to lines and grades as indicated on the drawings and compacted as indicated on the details. Minimum compaction in areas not otherwise shown shall be 90% of the maximum density as determined by ASTM D-1557, Method A.
- All Portland Cement Concrete for pavement shall conform to NMSH&TD Specification- Section 451 or Section 503, for structures. The contractor shall submit a proposed job mix for the engineer's approval in ample time before placing any concrete.
- Base course materials and placement shall conform to the requirements of NMSH&TD Specification, Section 304-Base Course. The contractor shall submit an aggregate analysis for the engineer's approval in ample time before placing any base course material.
- Prime coat material and placement shall conform to the requirements of NMSH&TD Specifications, Section 408-Prime Coat. The contractor shall submit certification of quality for his proposed material for the engineer's approval in ample time before placing any prime coat.
- Asphaltic concrete surface course material and placement shall conform to the requirements of NMSH&TD Specification, Section 420 OR 422-Plant Mix Bituminous Pavement (Dense Graded or Super Pave). The contractor shall submit a proposed mix design for the engineer's approval in ample time before placing any surface course.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.

SPECIFICATIONS - Water and Sewer Systems

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction", 1987 Edition (herein-after abbreviated NMSS), except as otherwise specified herein.
- Manufacturer's brochure cuts, and certificates of quality where applicable, shall be submitted for the engineer's approval for all items installed on the job.
- Water mains shall be PVC Water Pressure Pipe, Class 150, DR 18, C-900 water pipe as specified in NMSS Section 121, joints may be either mechanical or push-on type except where otherwise specifically indicated, or shall be Polyethylene Water Pressure Pipe, DR 17 as specified by AWWA C-906.
- The use of tapping sleeves for connection to existing mains or repair sleeves will not be permitted except with the express permission of the engineer for each instance.
- Water service lines shall be 1" diameter, polyethylene tubing and accessories shall conform with NMSS Section 560.2 - Water Service Pipe.
- All sections of new water mains shall be hydrostatically tested in accordance with AWWA C-600, Sec. 13, in the presence of the engineer and a city representative. The contractor shall furnish all equipment and labor required to make the tests. The mains shall be tested with the service connections complete in place. The leakage shall not exceed the calculated allowable leakage as specified in test sheet 801.16.2 in NMSS Section 801. The contractor shall locate and repair all leaks until there are no visible leaks and the overall leakage is within the specified maximum.
- Sanitary sewer pipe shall be Polyvinyl Chloride (PVC) pipe, DR 35, as specified in the NMSS Section 121.
- Manholes shall be constructed with precast reinforced concrete sections conforming to ASTM C-478. Block manholes are expressly prohibited. All portland cement concrete and mortar used in manhole construction shall utilize Type II cement. Care shall be taken to properly finish manhole inverts.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All watermains shall be chlorinated as specified in NMSS Section 801.17. Each service connection shall be operated to thoroughly flush the lines on completion.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.
- All service line connections for water and sewer shall be made with fittings specifically for the material used, and as per the manufacturer's installation requirements.

NOTES - Water and Sewer Construction

- Sewer services shall be located 5 feet ± down-stream from the center of the lot frontage except where otherwise indicated on the plans. Opposing connections shall be spaced at least 4 feet apart along the sewer mains. Water services shall be located 5 feet ± upstream from the common lot lines except where otherwise indicated on the plans, and 10 feet minimum away from the sewer services. Water taps shall be spaced at least 2 feet apart on the water mains.
- Stationing is as shown on the plan and profile sheets.
- Water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter, except where lines cross.
- Where a water line passes beneath or less than 18 inches above a sewer line, the sewer line shall be encased in concrete 6 inches thick as shown in the "Standard Details" for at least 10 feet on each side of the water line, or the sewer line shall be Ductile or Cast Iron Pipe with pressure-type joints for 10 feet on each side of the water line. This shall also apply where a parallel water line is less than 10 feet horizontally and less than 2 feet above the sewer.

GENERAL NOTES:

- Testing of construction materials, including subgrade compaction, shall be performed as required by the engineer and at the expense of the owner, except that the contractor shall pay for any re-testing required. The contractor shall cooperate in allowing opportunity for testing and furnishing samples and job site assistance as required. The contractor shall furnish manufacturer's certificates of quality as required.
- The contractor shall maintain a reasonably clean job site throughout the construction period and at completion shall remove all debris and dress up all areas disturbed by his operations.
- Measurement and payment of the various items of construction shall be made by the units indicated in the bid proposal and at the unit prices bid, work and materials not specifically called out in the bid proposal shall be considered incidental to the nearest associated item listed in the proposal.
- The contractor shall do his own layout and construction staking from bench marks and and centerline reference points furnished by the owner. The contractor shall be responsible for properly referencing all triangulation stations, bench marks, monuments, and grant markers, section corners, or other permanent reference marker, that may be destroyed during the construction of this project. The Project Manager, at the contractor's expense, shall reference and reset destroyed monuments according to government regulations and state law. Design survey for Owner provided by John West Surveying Company.
- Haul shall be considered incidental to construction, and no direct payment shall be made.
- For estimating purposes only, earthwork quantities are based on a shrinkage factor of 0% in roadway embankment and 0% swell in roadway excavation.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the ENGINEER. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.

GENERAL NOTES (CONT.):

- Locations of all existing utilities shown were taken from record drawings or field surveys and are located as accurately as possible from information available. It will be the contractor's responsibility to protect, maintain in service, and at points required, verify exact locations of these utilities during construction operations of this project.
- The contractor shall never unnecessarily interfere with or interrupt the services of any public utility having property within or adjacent to the construction area. He shall give all public utility companies a reasonable notice in writing, in no event less than 48 hours, for any work that he contemplates would interfere in any what whatsoever with the service of any existing public utility and city-owned facility.
- When construction under this project connects to existing improvements the contractor shall build an easy-riding connection.
- When abutting new pavement to edges of existing pavement, the existing pavement shall be cut a straight neat edge and tack coat shall be applied to edges of existing pavement prior to beginning of new pavement operations.
- The Contractor shall coordinate any work required by others in the construction area with the construction of this project.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the CITY OF HOBBS. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Where proposed elevations in the plans are shown with two digits preceding the decimal, it shall be assumed that 3600 feet is to be added.
- All concrete shall contain fiber reinforcement. Fiber reinforcement shall be virgin polypropylene strands approximately 3/4 inches in length, mixed into the concrete at a rate of 1.5 pounds per cubic yard or fibers shall be Anti-Crack HD (AR glass fibers) as manufactured by Saint-Gobain Vetrotex America and mixed into the concrete at a rate of 1.0 pounds per cubic yard (fiber length 3/4 inch). Use of fiber reinforcement does NOT substitute for any structural reinforcement required by the project drawings and contract documents. No separate measurement or payment will be made for fiber reinforcement, it shall be considered incidental to the item being installed.
- Construction will not be considered complete until all drainage structures, including new curband gutter, are tested flowing and found satisfactory by the project manager. Finished concrete grade tolerance shall not deviate from those shown on the plans by more than =/- 0.002 feet. This shall be considered incidental to the construction of this project.
- Construction contractor(s) shall assume sole and complete responsibility for job site conditions during construction of the project, including safety of all persons and property, and construction associated dust mitigation: this requirement shall be made to apply continuously and not be limited to normal working hours. The contractor(s) agrees to defend, indemnify and hold the owner their representatives and assigns, and the engineer harmless from any and all liability, real or alleged, losses, damages, claims or judgments on account of any suit, judgment, execution, claim action of demand whatsoever arising from the contractors performance of their services on this project. The contractor shall indemnify, hold harmless the owner their representatives and assigns and the engineer from all losses, damages, claims or judgment on account of any suit, judgment execution, claim, action or demand whatsoever arising from the contractor's employees, agents, representatives and subcontractors, including any ramifications arising from SWPPP, failure to obtain or failure to perform SWPPP related requirements and any construction associated dust production.

MATERIAL SPECIFICATION:

Materials and equipment used in the installation of water and sewer improvements shall be in accordance with the City of Hobbs standards and shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

Where specific items are called for by name, make, or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written requires and proper certification are submitted to the ENGINEER for review and approval prior to Bid Opening for City of Hobbs approval.

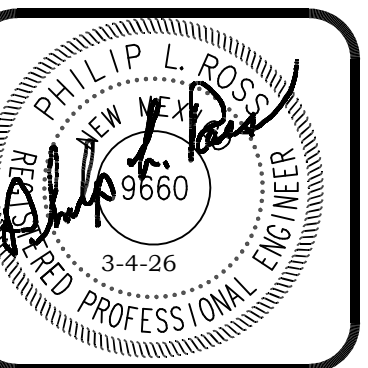
SANITARY SEWER

Collector: PVC, SDR 26 (under 18" Dia.) (Stiffness of 46 for over 18" Dia.), push-on, gasketed (or glued) sewer pipe.
 Service: PVC, SCH 40 or SDR 21, push-on, gasketed (or glued) sewer pipe.
 Fittings: PVC, SCH 40, push-on, gasketed sewer pipe.
 Manholes: Fiberglass (preferred) or Precast reinforced concrete, 4 ft. inside diameter, type "C" Concentric manholes.
 Manhole rim and Lid: A. Vented in pavement areas, East Jordan Iron Works #41430120A01 or approved equal. Frame & cover shall be AASHTO H-20 load rated, Ductile iron castings shall be grade 70-50-05 conforming to ASTM A536 (latest edition), Grey iron castings shall be CL35 conforming to ASTM A48 (latest edition), frame & cover to be uncoated. (See Details)
 B. Sealing in drainage swale and bar-ditch areas, shall be as required by the City of Hobbs.
 Force Mains: HDPE DR 13.4 C-906 (WPR 130 psi) or PVC DR 14 Class 200 C-900 (WPR 145 psi).

POTABLE WATER

Distribution Lines: PVC, DR 18, Class 150, C-900 push-on, gasketed water pipe - OR - HDPE, DR 17, C-906 blue or blue stripe.
 Fittings: Mechanical joint (MJ), class 250 or 350 S.S.B. type, ductile iron pipe fittings for PVC, Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Wedge Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL X MJ when connected at fittings.
 Gate Valves: Mueller bonded resilient seat, non-raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter-clockwise. Valves may be FL x MJ when connected at fittings.
 Fire Hydrants: Kennedy Guardian - K81D Main valve fire hydrant, Exterior painted "chrome yellow" as per NM APWA specs.
 Valve Boxes: Tyler 461S, or equal
 Water Meter Box - Regular Meter Box - East Jordan product number 32234002A04, round 18" x 18" and DFW Plastics Inc. plastic blue cover product number (18AMR-49).

STOCK PILES HEIGHT SHALL NOT EXCEED 4', BY CITY ORDINANCE

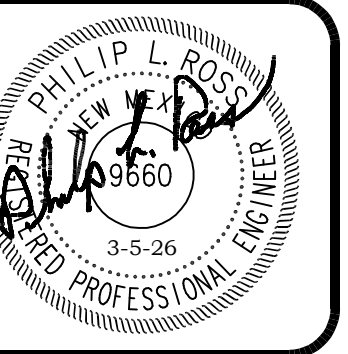


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STUARD DEVELOPMENT
 TRINITY ESTATES UNIT 4
 GENERAL NOTES AND
 MATERIALS SPECIFICATIONS



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PLR	PLR
Date:	Disk:
3-4-26	STUARD
File Name:	Job No.:
GEN NOTES	

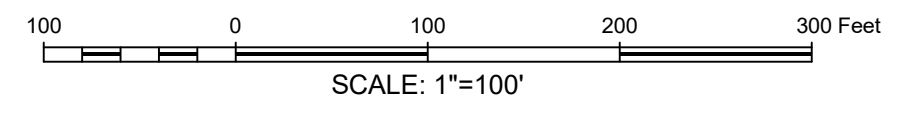
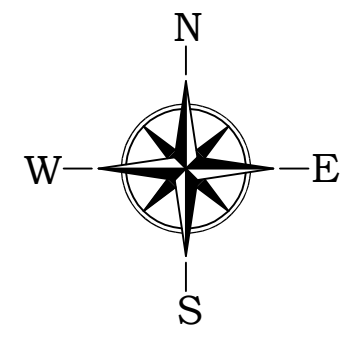
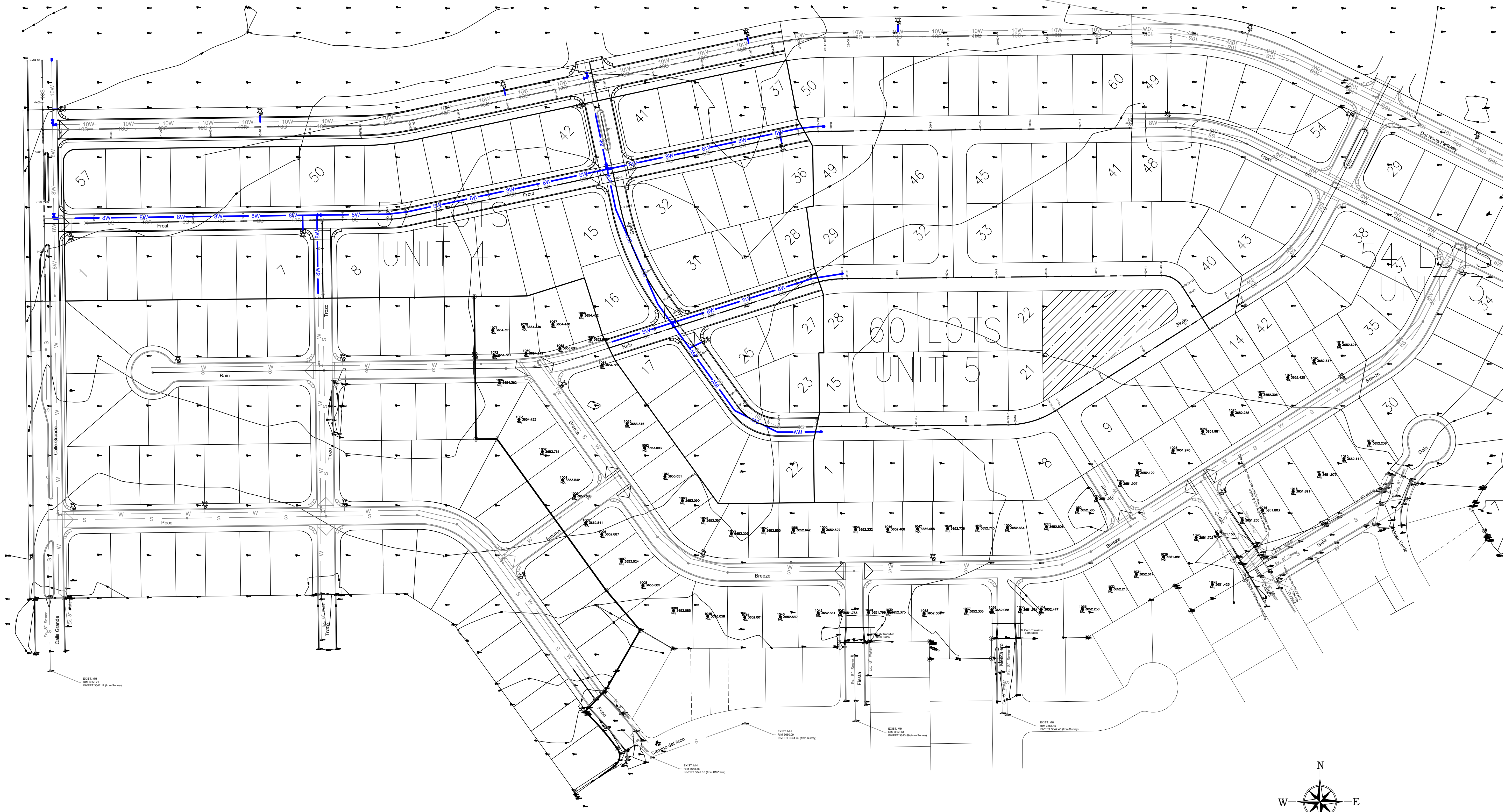


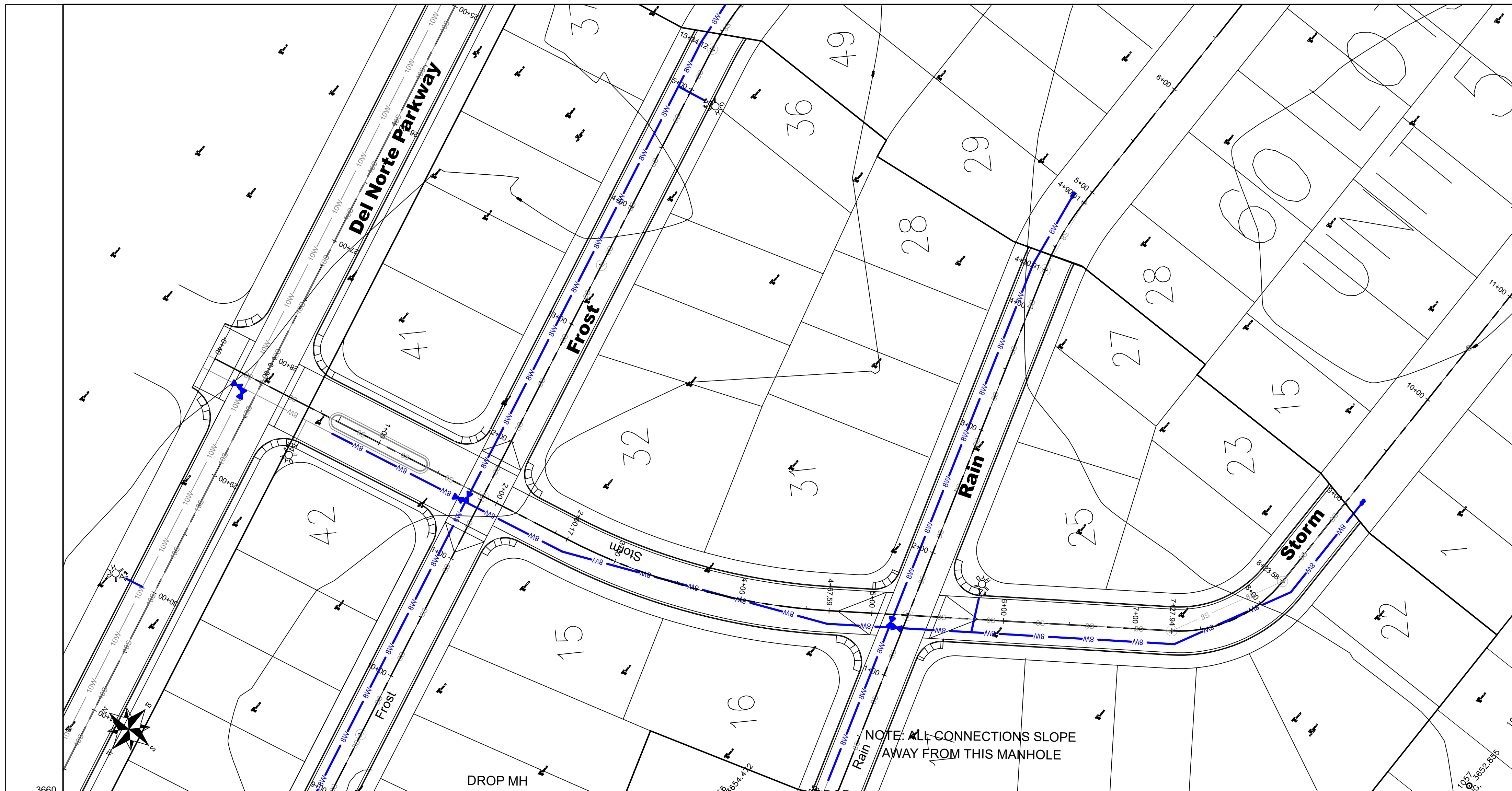
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4						
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STUARD DEVELOPMENT
 TRINITY ESTATES
 UNIT 4
 OVERALL LAYOUT

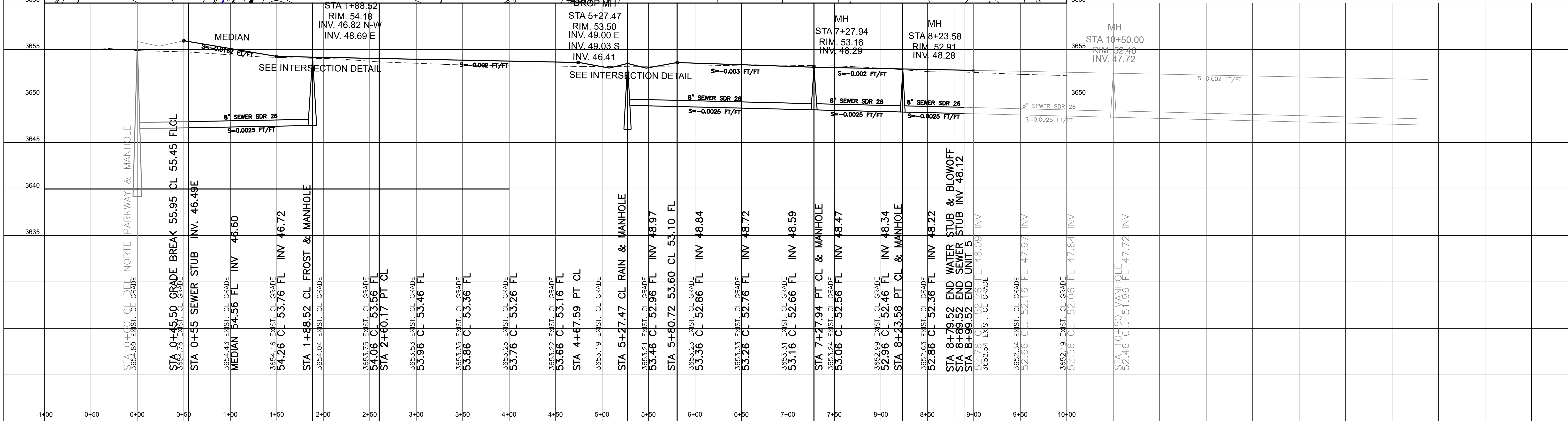
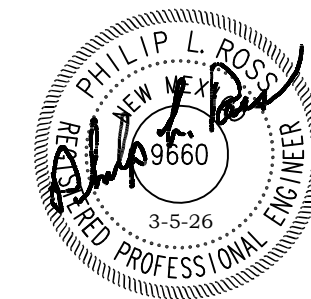


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SMM	PLR
Date:	Disk:
3-5-26	GENERAL
File Name:	Job No.:
BASE	





NOTE: ALL CONNECTIONS SLOPE AWAY FROM THIS MANHOLE



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
3/5/26

SCALE
H: 1" = 50'
V: 1" = 5'

the ROSS GROUP
CONSULTING ENGINEERS

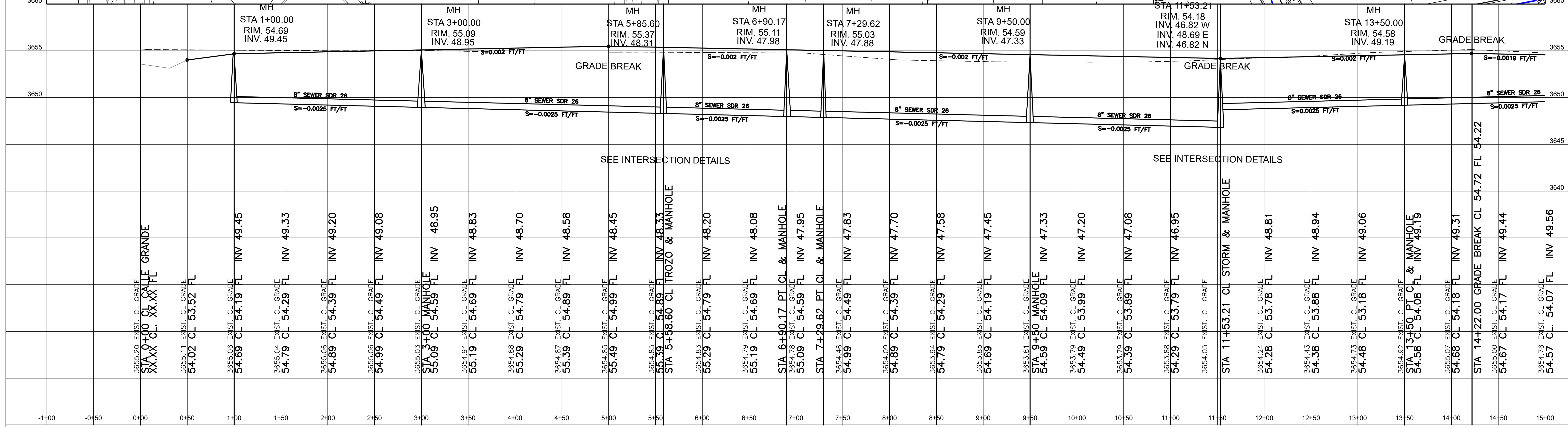
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4

STORM
ROADWAY PLAN & PROFILE
STA 0+45.50 TO STA 8+89.52

SHEET
5
OF
17

ORIGINAL DRAWING 24" X 36"



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
3/5/2026

SCALE
H: 1" = 50'
V: 1" = 5'



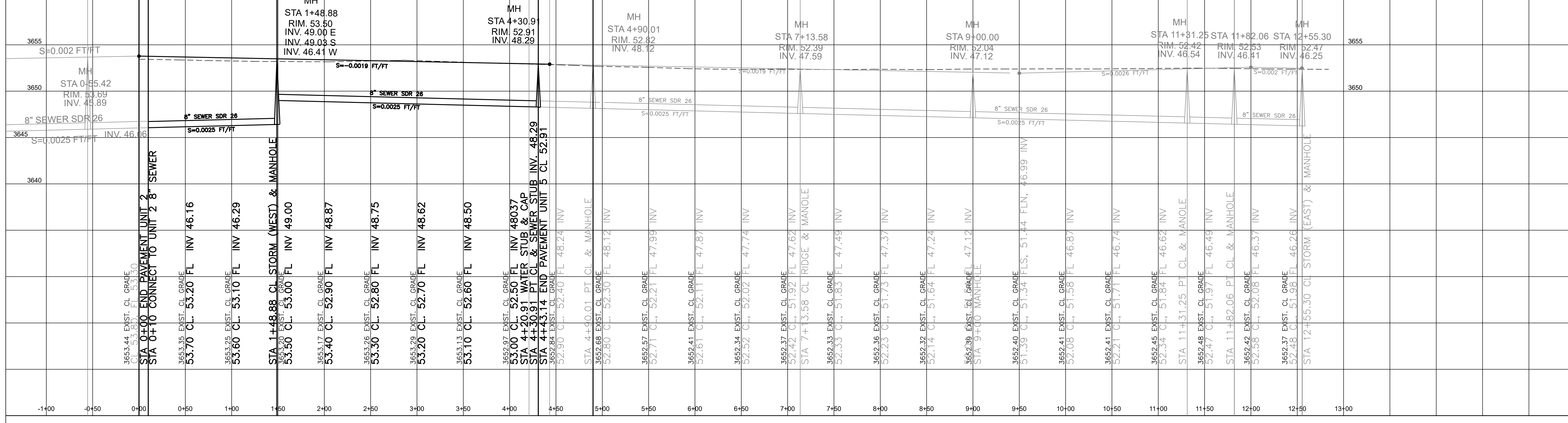
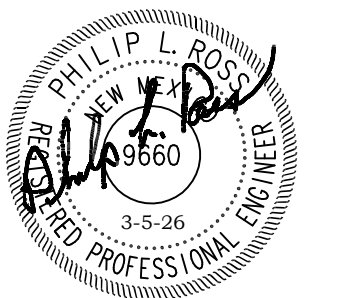
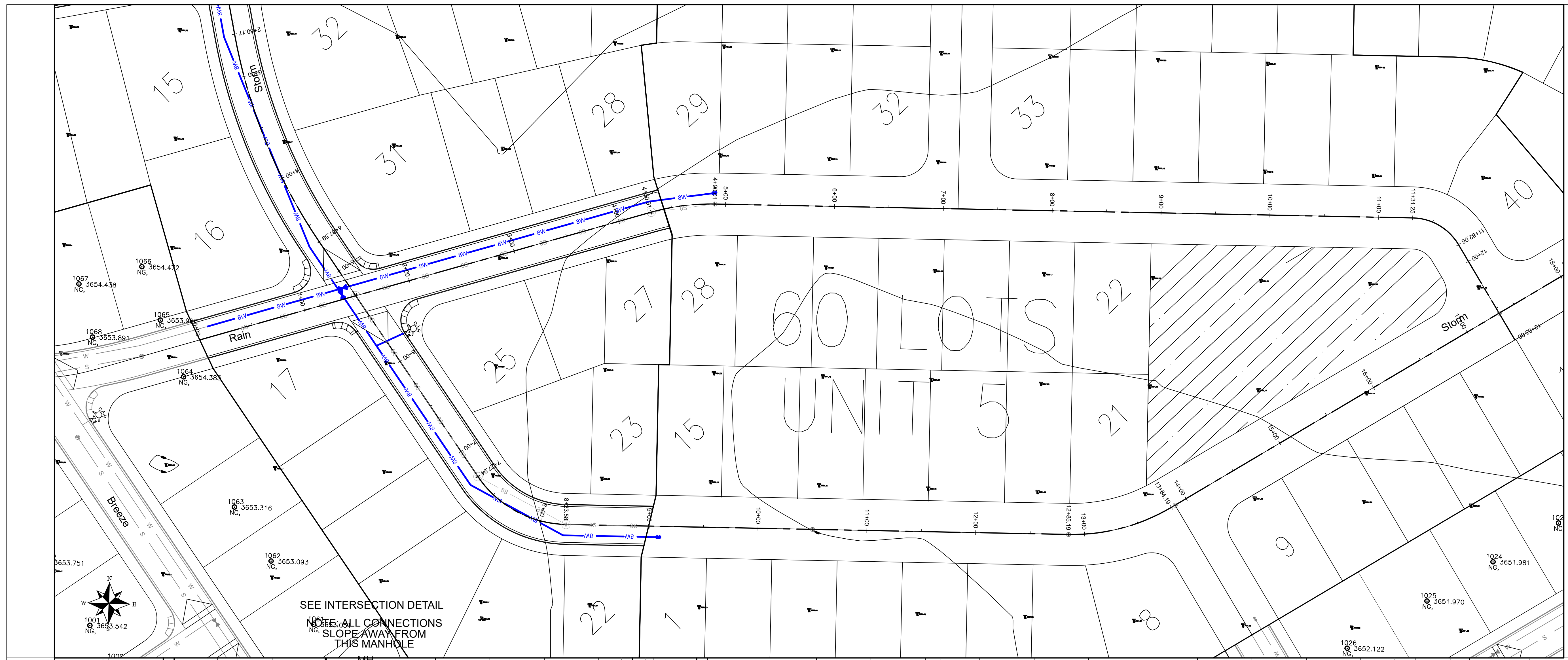
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4

FROST
ROADWAY PLAN & PROFILE
STA 0+00 TO STA 15+00

SHEET
6
OF
17

ORIGINAL DRAWING 24" X 36"



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DATE: 3/5/2026
 SCALE: H: 1" = 50'
 V: 1" = 5'



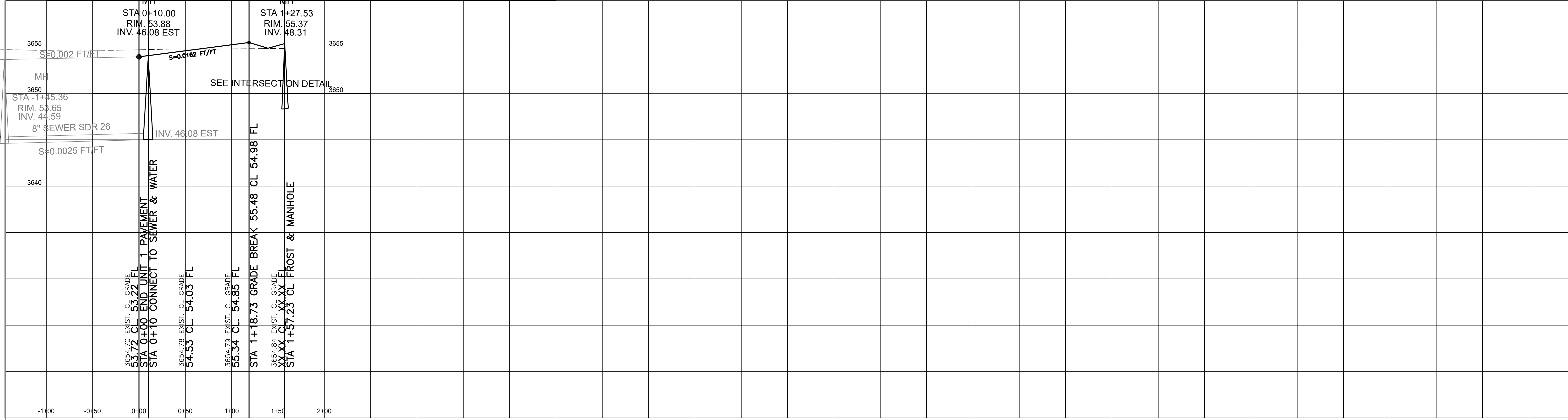
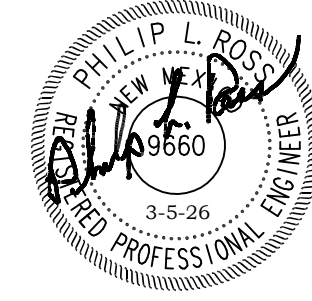
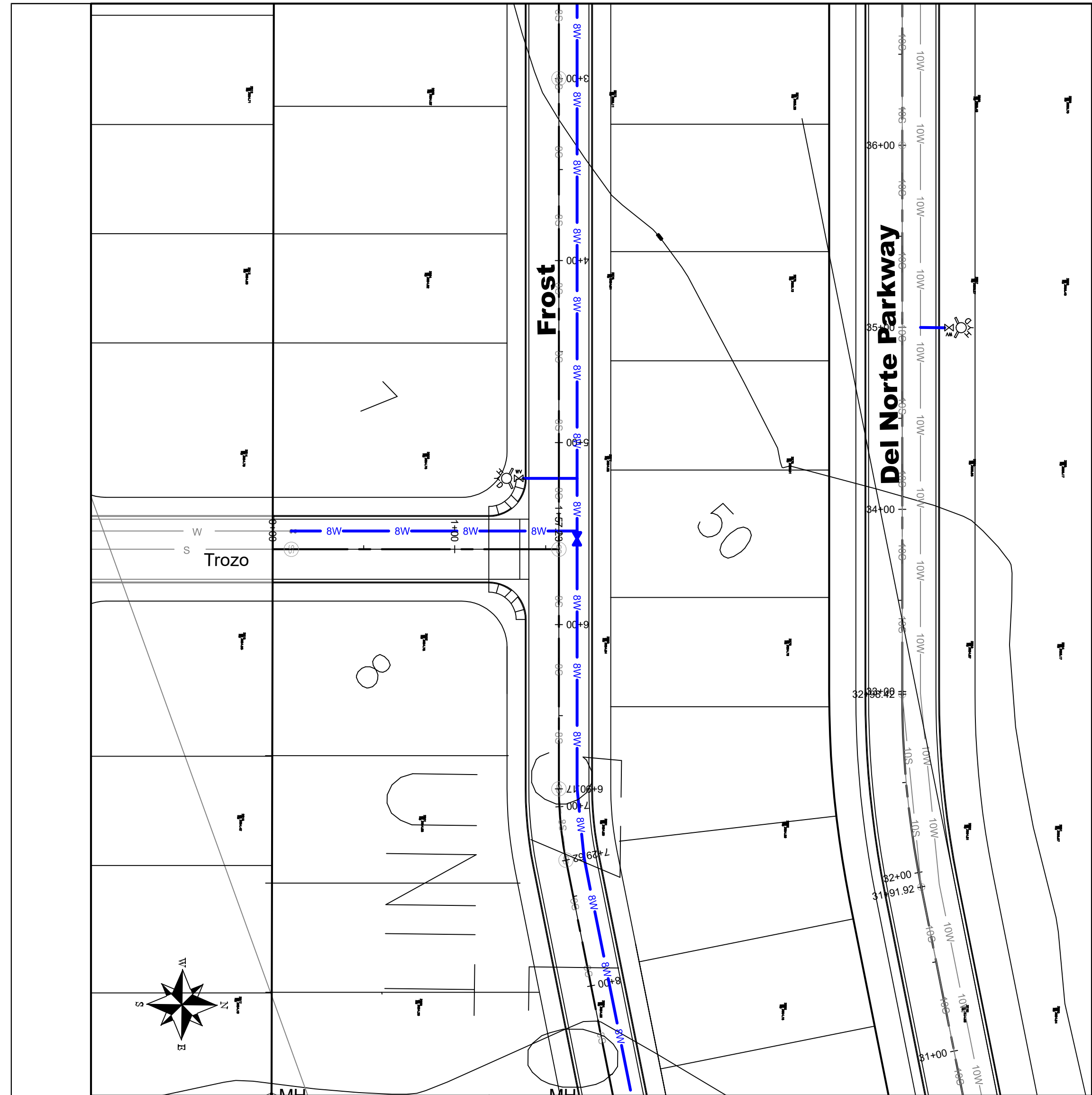
410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
 Fax (575) 392-9114

STUARD DEVELOPMENT
 TRINITY ESTATES
 UNIT 4

RAIN
 ROADWAY PLAN & PROFILE
 STA 0+00 TO STA 4+45

SHEET
 8
 OF
 17

ORIGINAL DRAWING 24" X 36"



NO.	REVISIONS	BY	DATE	DES

DATE
3/5/2026

SCALE
H: 1" = 50'
V: 1" = 5'

the ROSS GROUP
CONSULTING ENGINEERS

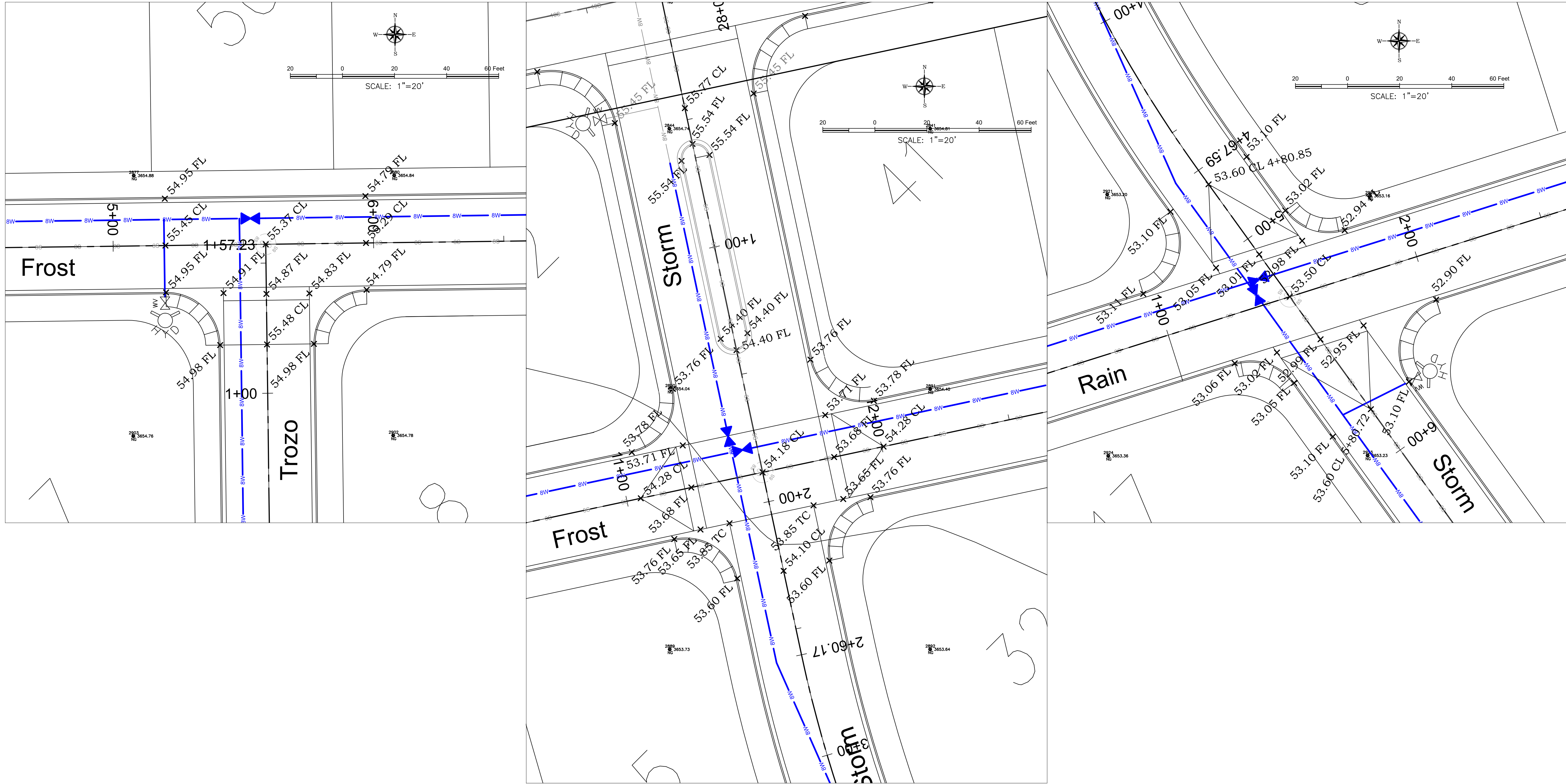
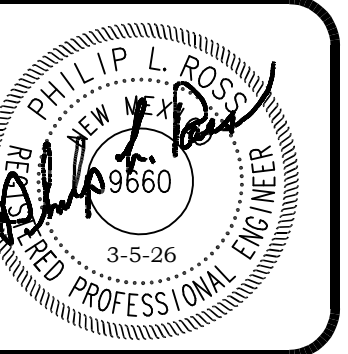
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4

TROZO
ROADWAY PLAN & PROFILE
STA 0+00 TO STA 1+57.23

SHEET
9
OF
17

ORIGINAL DRAWING 24" X 36"



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STUARD PROPERTIES
 TRINITY ESTATES
 UNIT 4
 INTERSECTION DETAILS

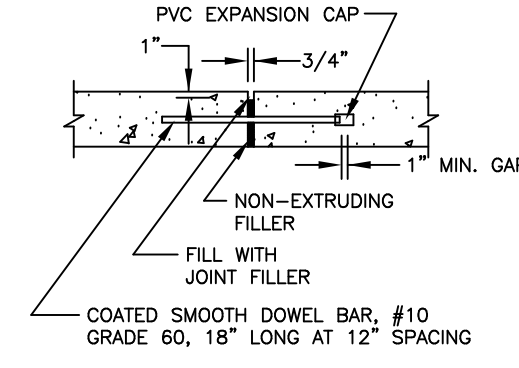


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SMM	PLR
Date:	Disk:
3/5/26	GENERAL
File Name:	Job No.:
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EXPANSION JOINT GENERAL NOTES:

1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.
2. DOWEL BARS SHALL BE CENTERED IN SLAB.

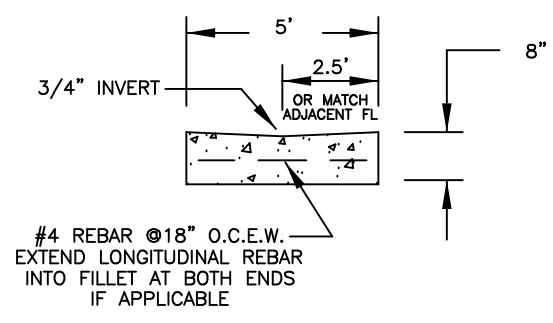


DOWELED EXPANSION JOINT
NOT TO SCALE

ROJ0103

VALLEY GUTTER GENERAL NOTES:

1. CONTRACTOR SHALL CONSTRUCT SEALED EXPANSION JOINTS AT 30' INTERVALS, AT END OF DAY'S POUR, AND AT 30-MINUTE INTERRUPTIONS.
2. CONTRACTOR SHALL CONSTRUCT TRANSVERSE CONTRACTION JOINTS (DUMMY JOINTS) AT 10' INTERVALS.
3. CONTRACTOR SHALL CONSTRUCT DOWELED EXPANSION JOINT AT MIDPOINT OF VALLEY GUTTER IF SHOWN ON THE PLANS.
4. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS (CLASS A).
5. MATERIAL ON WHICH CONCRETE IS TO BE PLACED SHALL BE 8" MINIMUM APPROVED BASE COURSE MATERIAL COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY ASHTO T-180. SUBGRADE BELOW BASE COURSE SHALL BE MIN. 6" COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY ASHTO T-180.

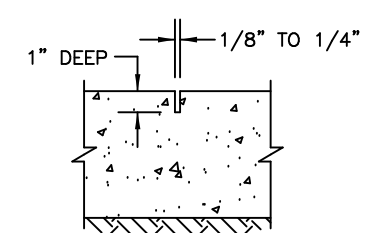


CONCRETE VALLEY GUTTER 60" X 8"
NOT TO SCALE

VALLEY GUTTER NOTES ADDED IN 2014:
2014 CITY OF HOBBS DEVELOPMENT REQUIRES ALL VALLEY GUTTERS TO BE 5' WIDE. ORIGINAL PLANS DRAWN IN 2008 SHOW IN PLAN VIEW VALLEY GUTTERS AT 3' WIDE. CONTRACTOR SHALL CONSTRUCT ALL VALLEY GUTTERS AS PER THE DETAILS ON THIS SHEET.

CONTRACTION JOINT GENERAL NOTES:

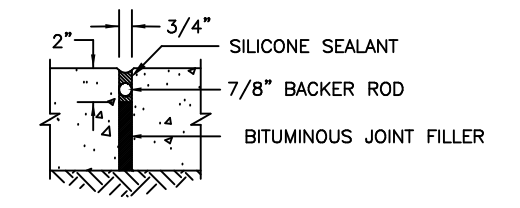
1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.



SAWCUT TRANSVERSE CONTRACTION JOINT
NOT TO SCALE

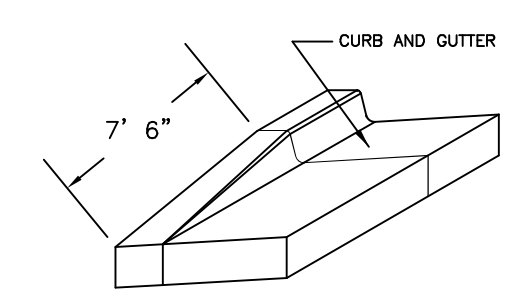
EXPANSION JOINT GENERAL NOTES:

1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.



SEALED EXPANSION JOINT
NOT TO SCALE

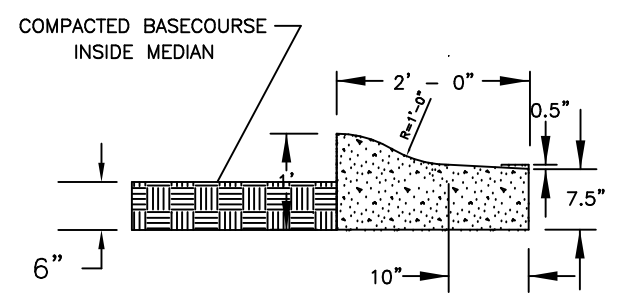
ROJ0102



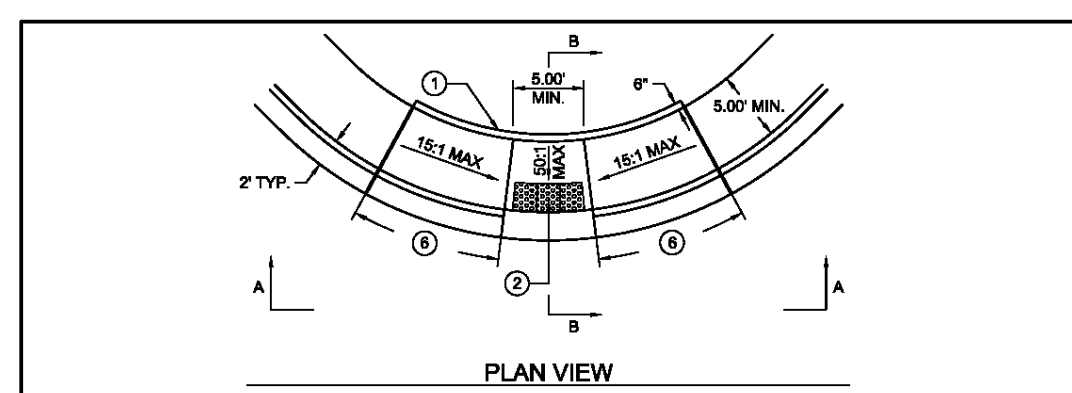
CURB END TREATMENT
NOT TO SCALE

MOUNTABLE CURB AND GUTTER GENERAL NOTES:

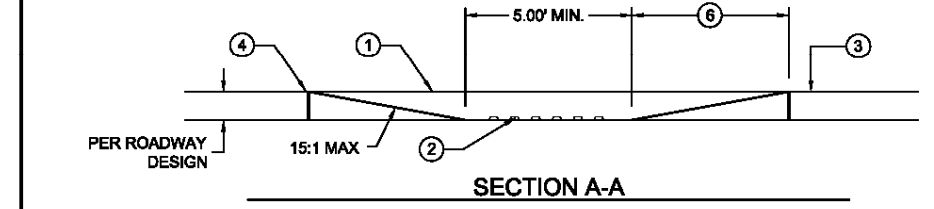
1. CONTRACTOR SHALL CONSTRUCT 3/4" TRANSVERSE BITUMINOUS EXPANSION JOINTS AT 30' INTERVALS, AT END OF DAY'S POUR, AND AT 30-MINUTE INTERRUPTIONS. WHEN CURB AND GUTTER IS PLACED BY MACHINE, INTERVAL MAY BE INCREASED TO 90'.
2. CONTRACTOR SHALL CONSTRUCT TRANSVERSE CONTRACTION JOINTS (DUMMY JOINTS) AT 10' INTERVALS AND AT END OF RADIUS POINTS OR ISLAND NOSES.
3. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS.
4. MATERIAL ON WHICH CONCRETE IS TO BE PLACED SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASHTO T-99, METHOD C.



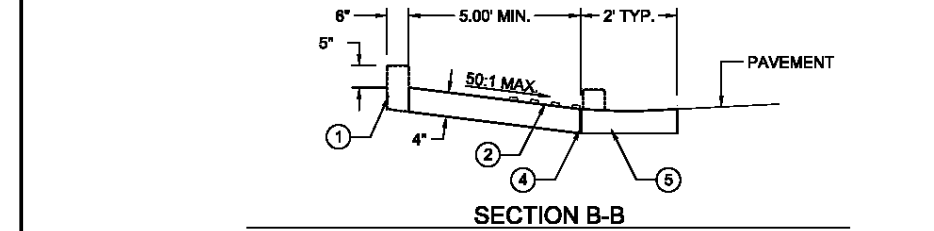
MEDIAN CURB CONCRETE MOUNTABLE (SPILL) CURB AND GUTTER (8" X 24")
NOT TO SCALE



PLAN VIEW



SECTION A-A



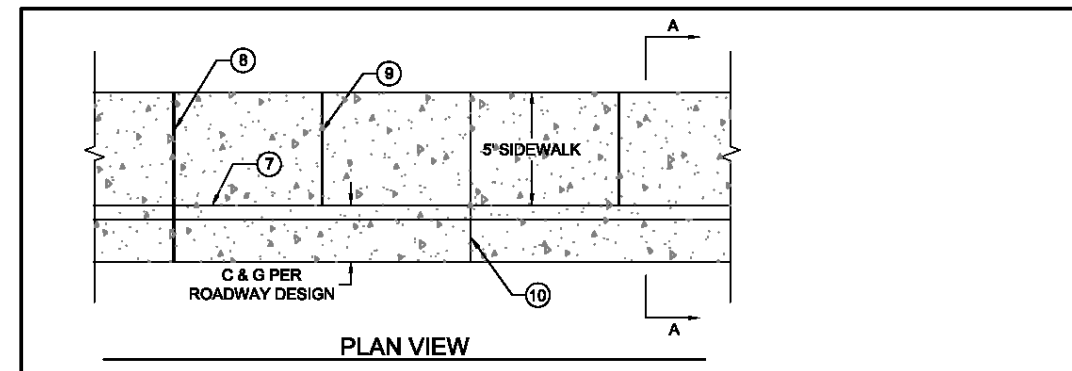
SECTION B-B

GENERAL NOTE

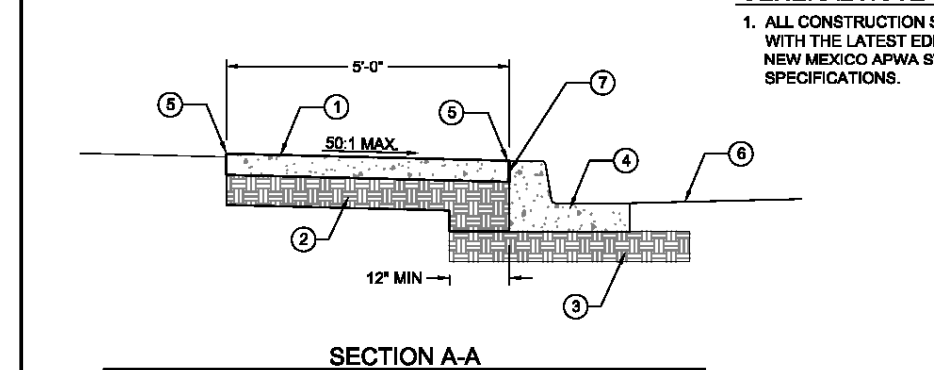
1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
2. BACK OF CURB RADIUS TO BE APPROVED BY CITY ENGINEER.
3. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT
1. CONCRETE HEADER CURBS TO BE POLURED MONOLITHICALLY WITH RAMP.
2. CENTER A MIN. OF 3 RADIAL CORROSION RESISTANT GRAY IRON DETECTABLE WARNING PLATES AS SHOWN. (EAST JORDAN IRON WORKS OR CITY ENGINEER APPROVED EQUAL.)
3. TOP OF SIDEWALK
4. USE 12" EXPANSION JOINT WHERE SIDEWALK OR DRIVE PAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
5. LAYDOWN CURBS PER DESIGN STANDARDS
6. HORIZONTAL RAMP LENGTH VARIES BASED ON CURB HEIGHT PER ROADWAY DESIGN AND 15:1 MAX SLOPE.

ADA RAMP DETAIL - CURB RETURN
DESIGN STD. NO. 302.00
SCALE: NTS
DATE: 01/09
REVISIONS: ADA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

REQUIRED AT ALL STREET CORNERS.



PLAN VIEW



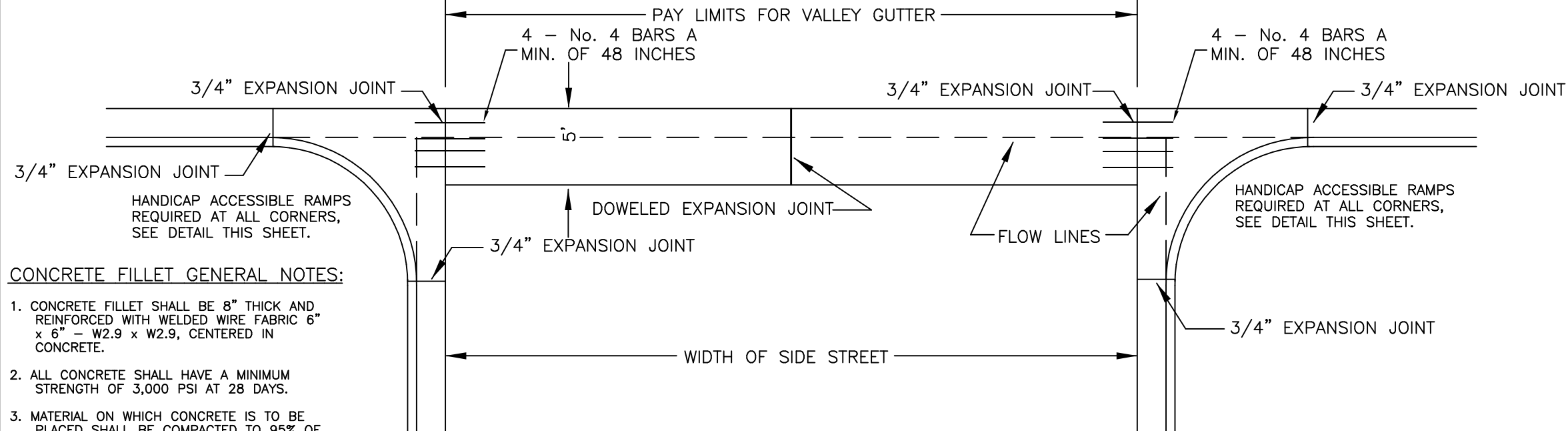
SECTION A-A

GENERAL NOTE

1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
1. 4" THICK STANDARD SIDEWALK ADJACENT TO CURBS.
2. 8" SUBGRADE PREP, 95% COMPACTION UNDER ALL SIDEWALK.
3. SUBGRADE COMPACTION FOR C & G. REFER TO DESIGN STANDARD NO. 310.00
4. CURB & GUTTER
5. 12" TOOLED RADIUS
6. STRUCTURAL THICKNESS OR PAVEMENT COMPONENTS WILL BE PER PAVEMENT DESIGN
7. COLD JOINT
8. 12" EXPANSION JOINTS AT 30' O.C. MAX. SPACING AND WHERE SIDEWALK ADJUTS BUILDINGS, FENCES, WALLS, CURB RETURNS, AND DRIVEWAYS OR OTHER IMMOVABLE OBJECTS.
9. SIDEWALKS SHALL HAVE 1/4" GROOVE JOINTS AT 6' CENTER.
10. CURB AND GUTTER SHALL HAVE 1/4" GROOVE JOINTS PLACED AT 12' INTERVALS TO CORRESPOND WITH THE LOCATIONS OF 1/4" GROOVE JOINTS IN THE SIDEWALK

TYPICAL SIDEWALK DETAIL
DESIGN STD. NO. 300.00
SCALE: NTS
DATE: 09/09
REVISIONS: APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

VALLEY GUTTER NOTES ADDED IN 2014:
2014 CITY OF HOBBS DEVELOPMENT REQUIRES ALL VALLEY GUTTERS TO BE 5' WIDE. ORIGINAL PLANS DRAWN IN 2008 SHOW IN PLAN VIEW VALLEY GUTTERS AT 3' WIDE. CONTRACTOR SHALL CONSTRUCT ALL VALLEY GUTTERS AS PER THE DETAILS ON THIS SHEET.



CONCRETE FILLET AND VALLEY GUTTER
NOT TO SCALE

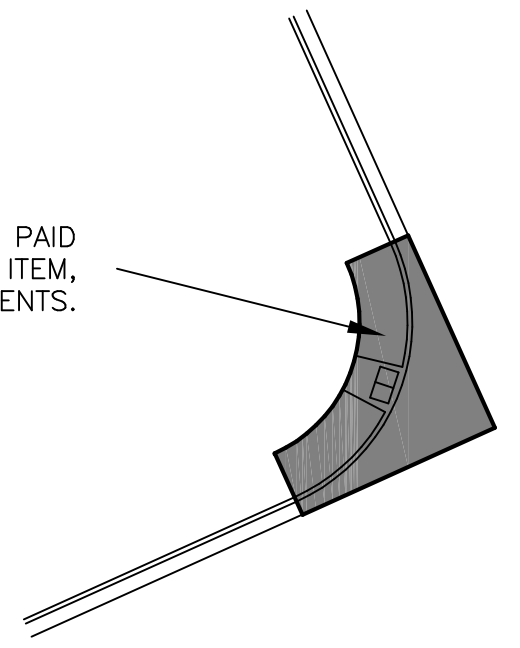
CONCRETE FILLET GENERAL NOTES:

1. CONCRETE FILLET SHALL BE 8" THICK AND REINFORCED WITH WELDED WIRE FABRIC 6" X 8" - W2.9 X W2.9, CENTERED IN CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS.
3. MATERIAL ON WHICH CONCRETE IS TO BE PLACED SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASHTO T-180.

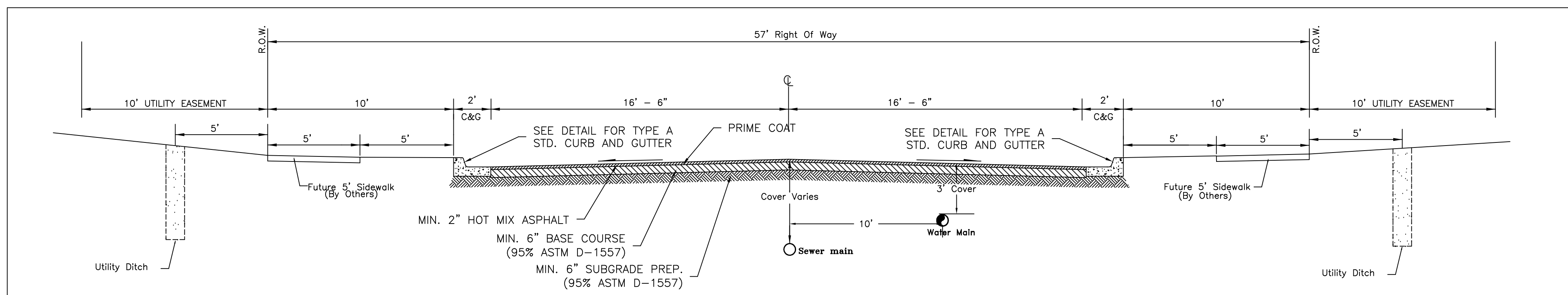
ROADWAY CONSTRUCTION GENERAL NOTES:

ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.

ENTIRE HATCH AREA PAID UNDER ONE PAY ITEM. SEE BID DOCUMENTS.



CURB RETURN PAY ITEM
NOT TO SCALE



TYPICAL RESIDENTIAL STREET CROSS-SECTION
Not To Scale

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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2						
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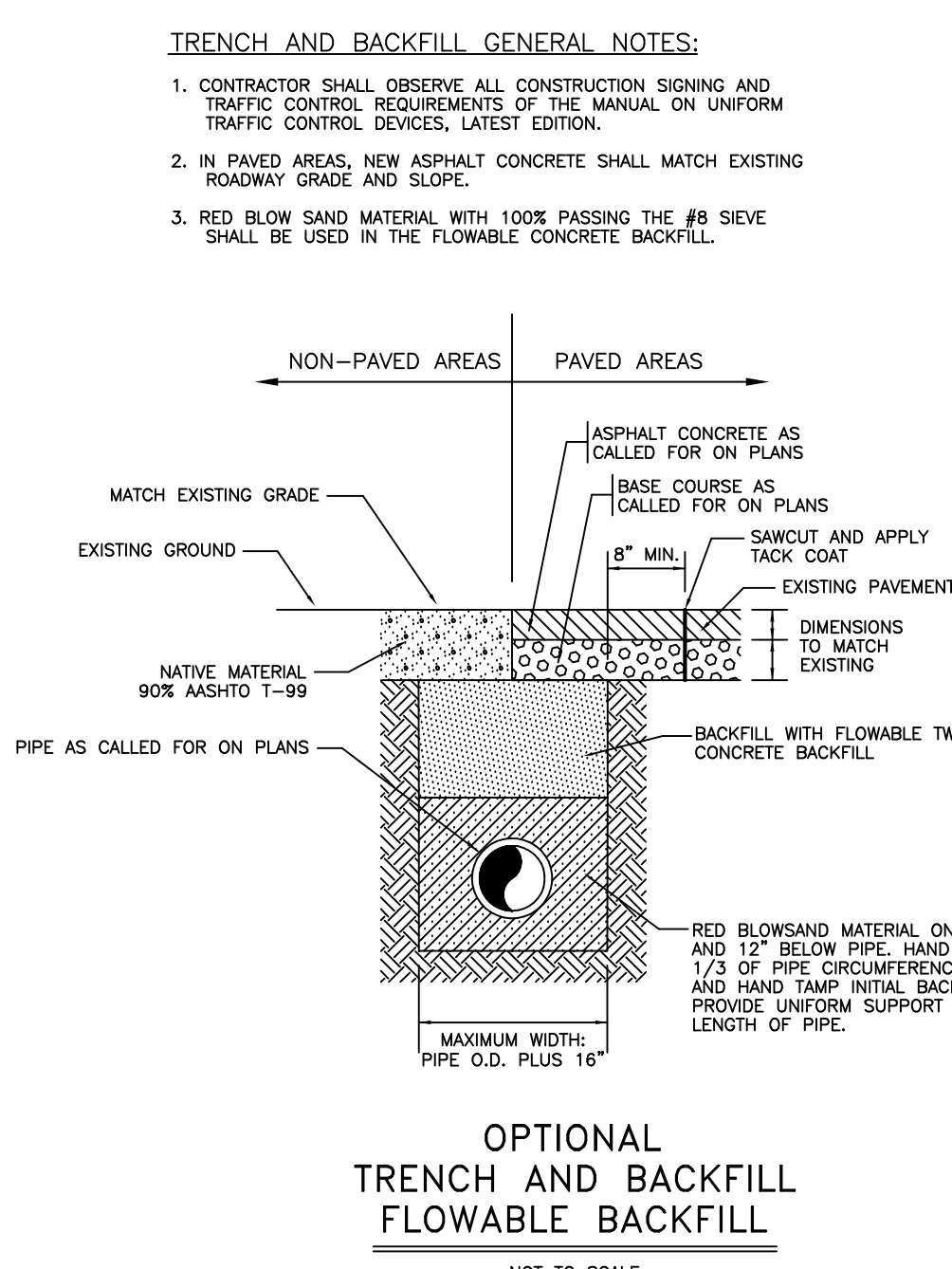
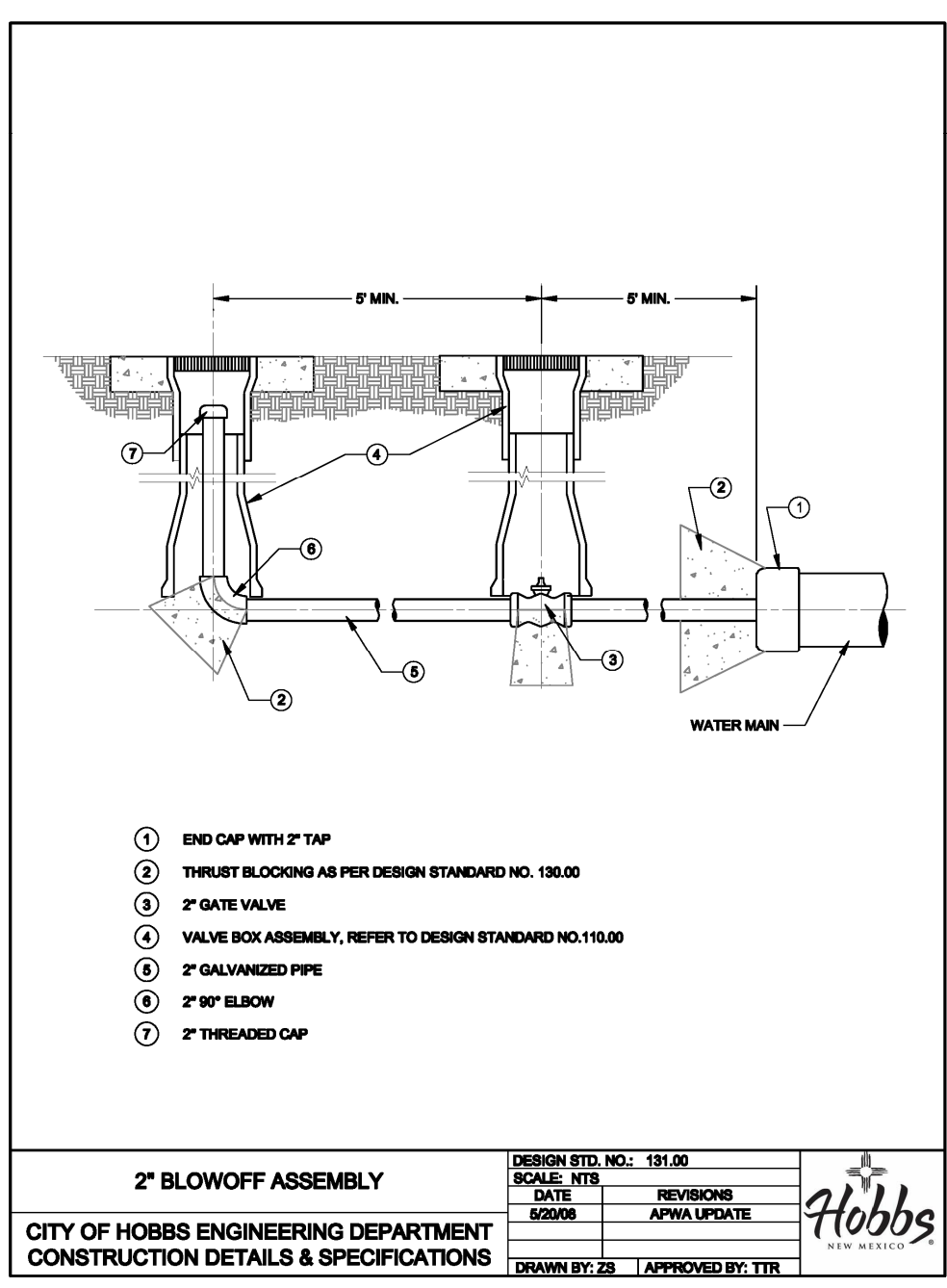
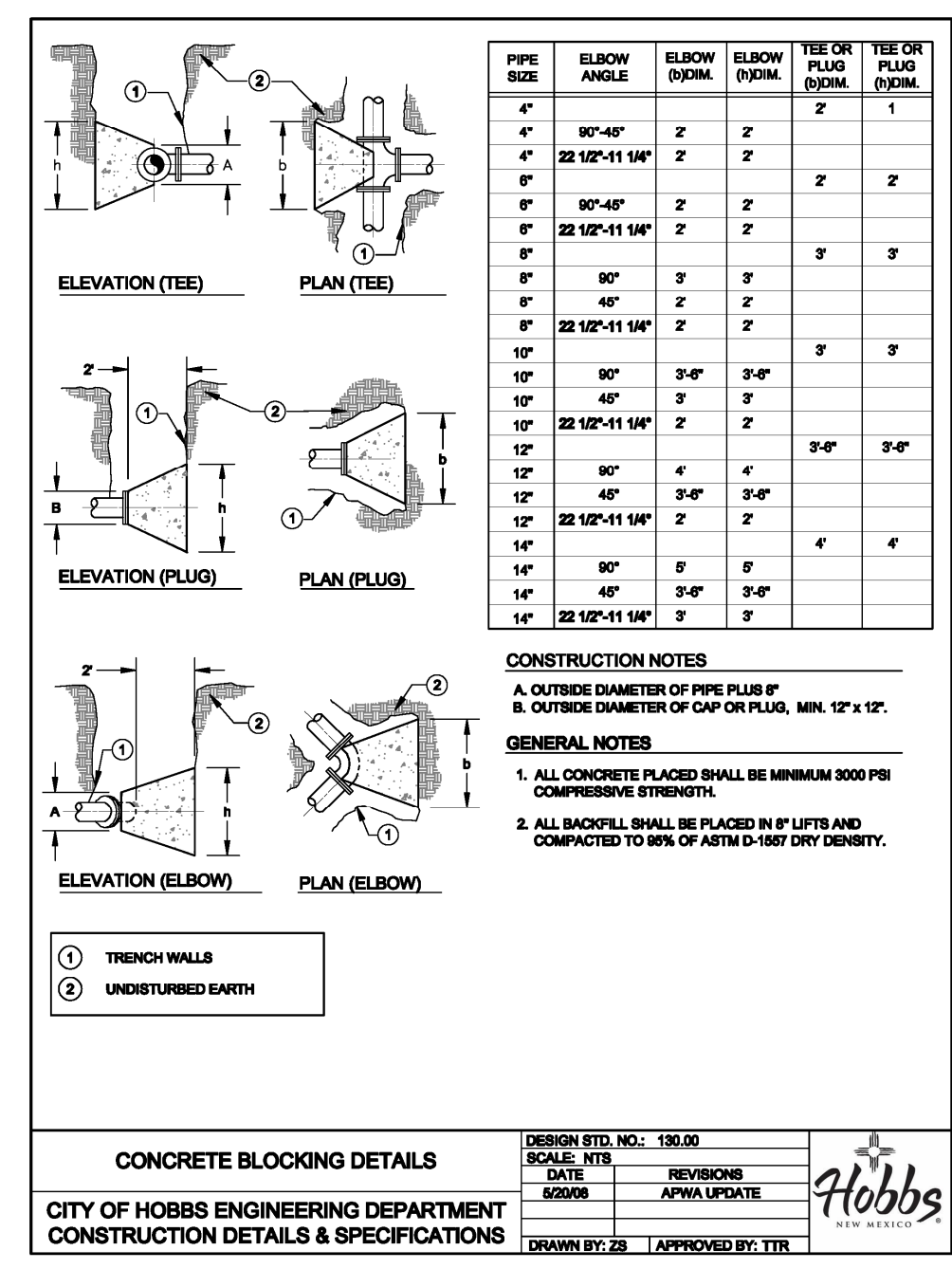
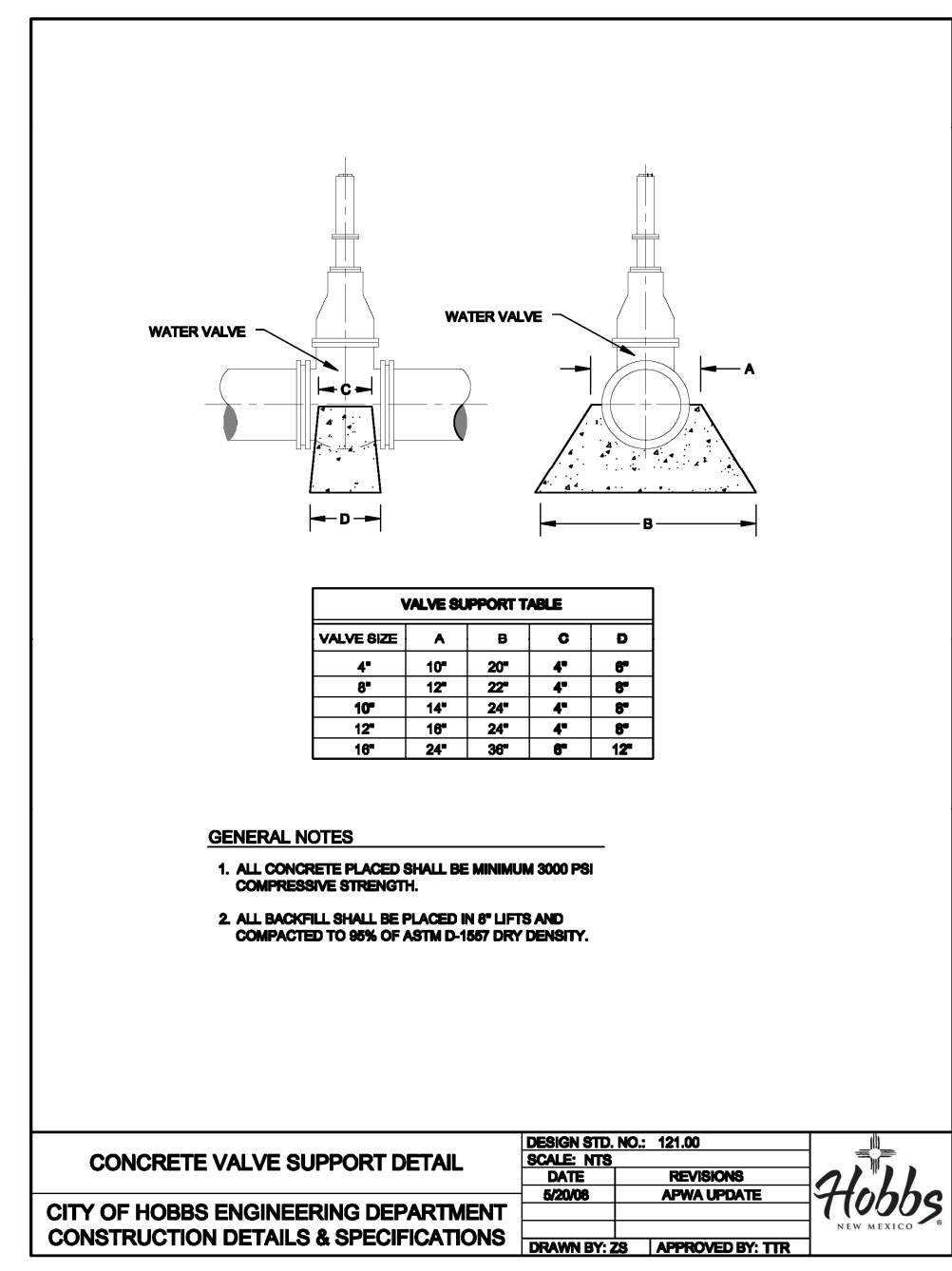
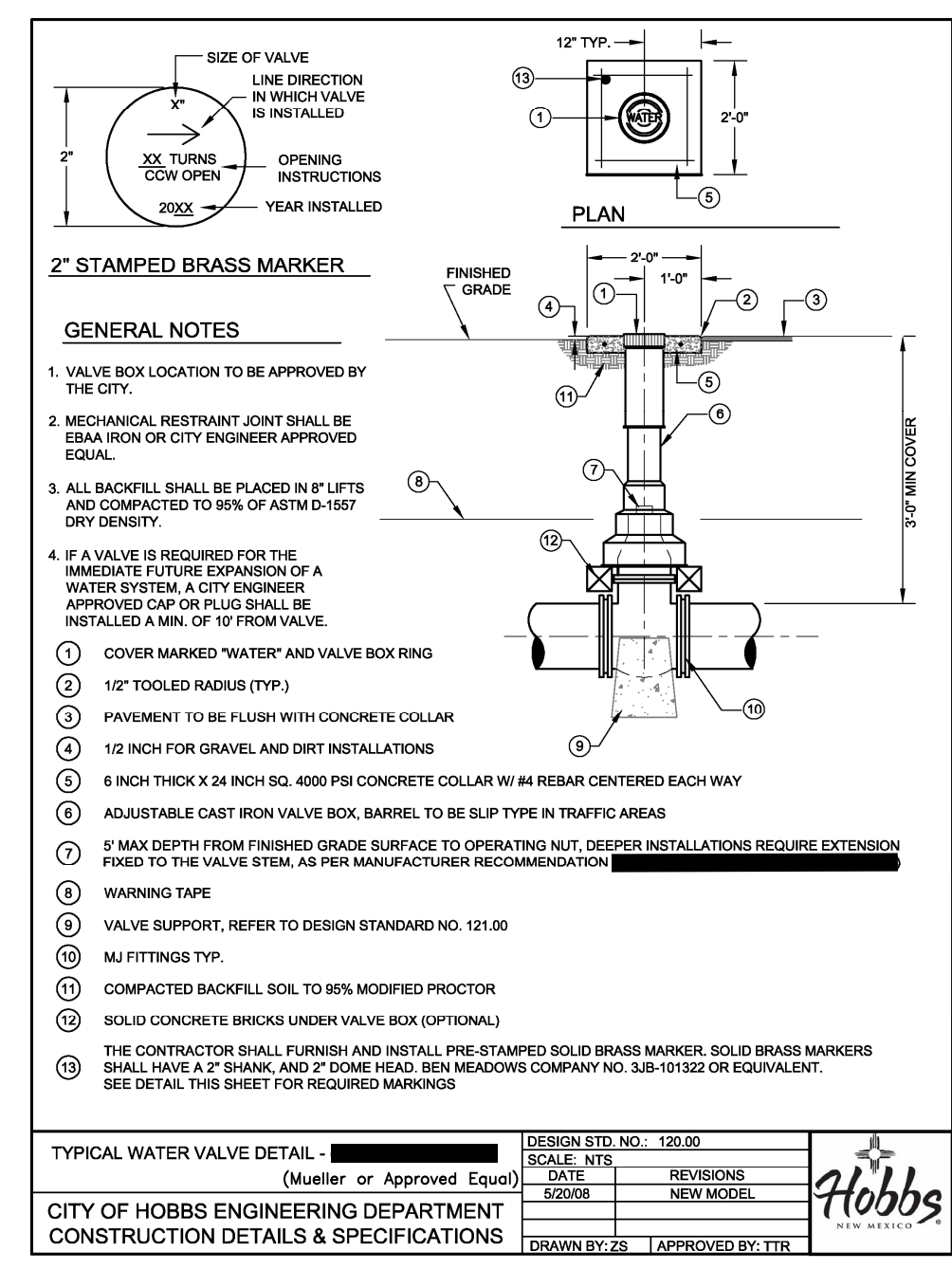
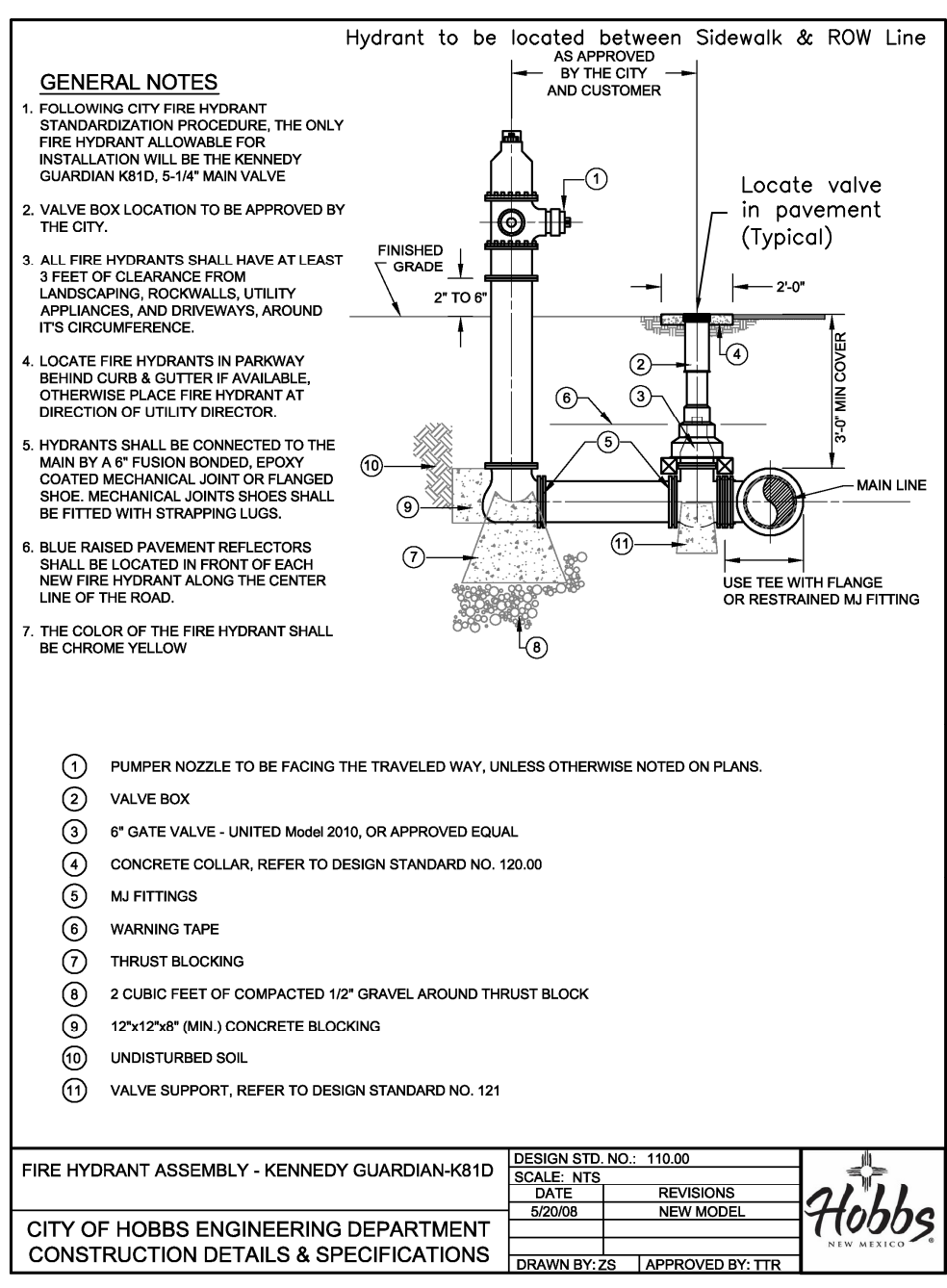
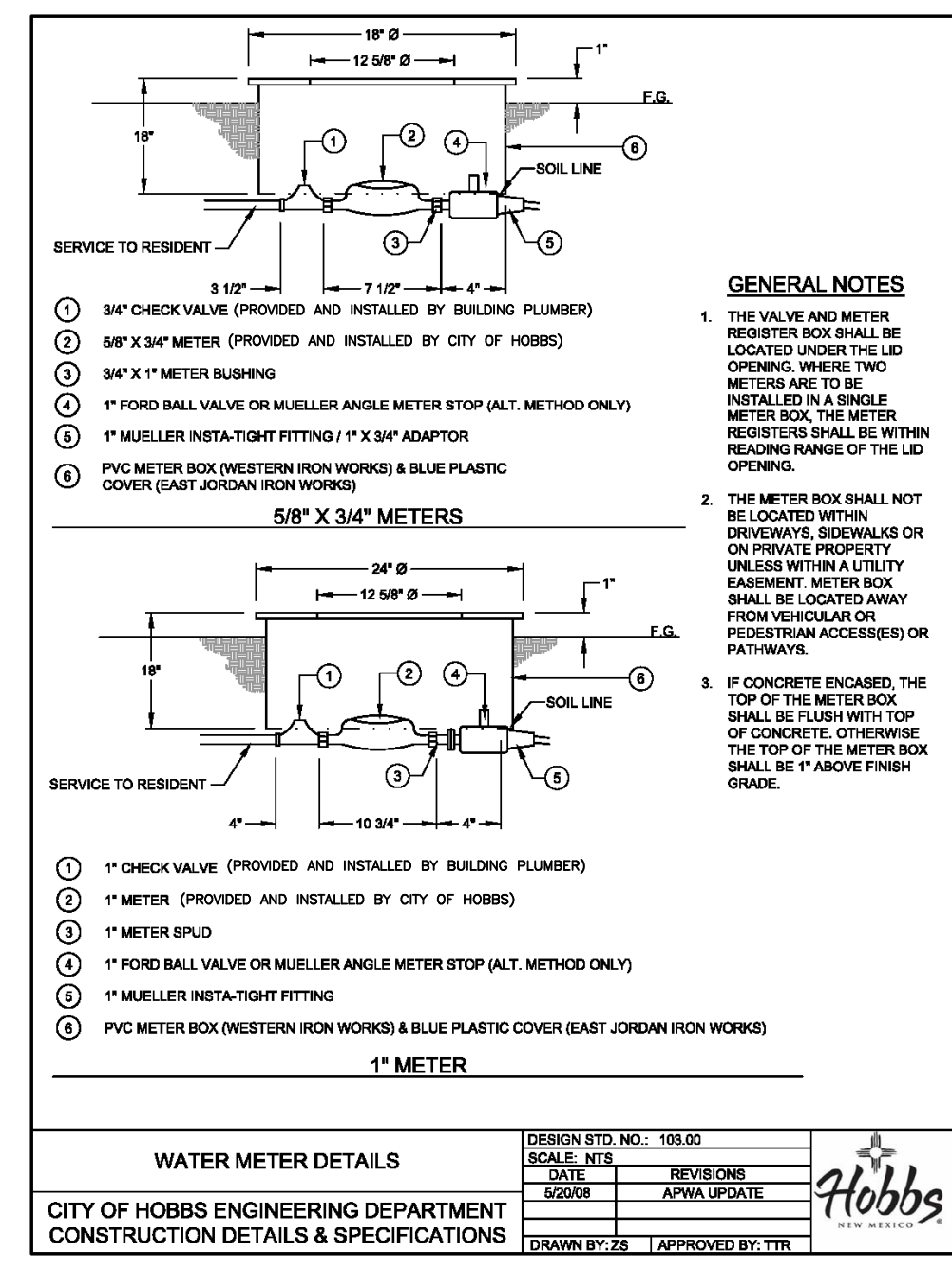
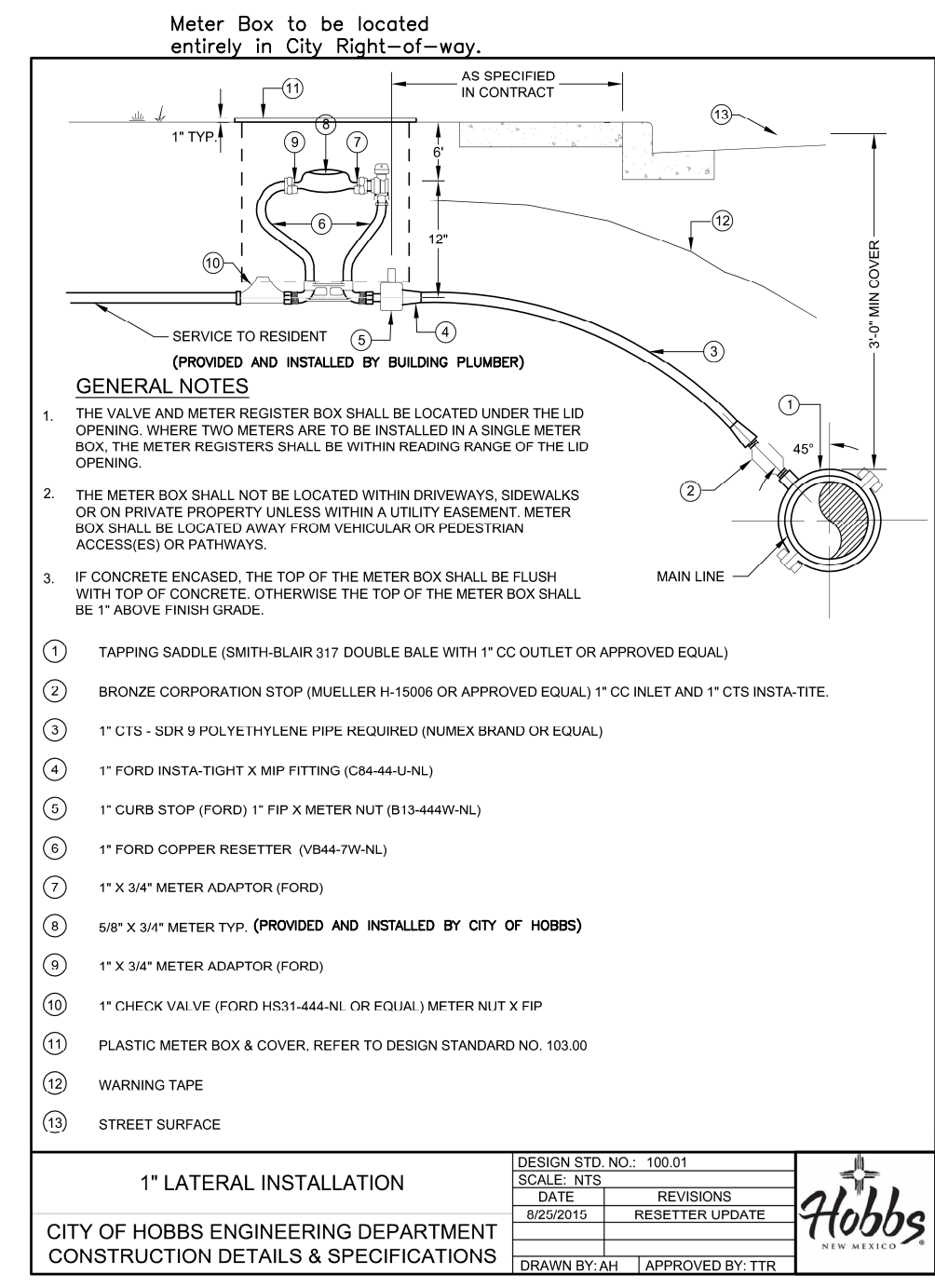
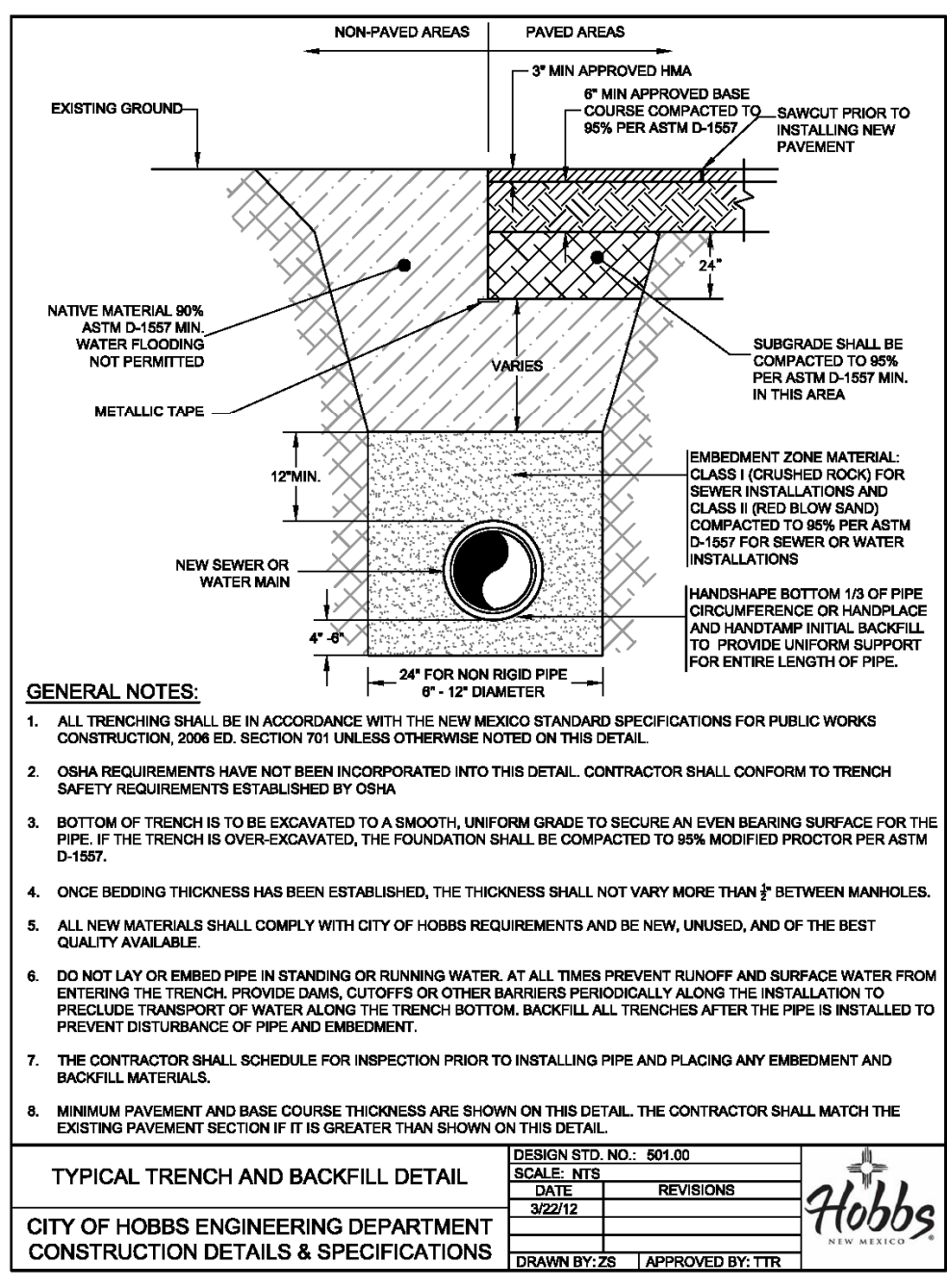
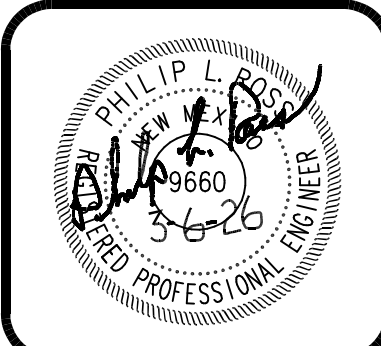
STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4
ROADWAY DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
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Date:	Disk:
3/6/26	GENERAL
File Name:	Job No.:
ROAD	

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D1
D1 of D6 sheets

ORIGINAL DRAWING SIZE 24" X 36".



ORIGINAL DRAWING SIZE 24" X 36"

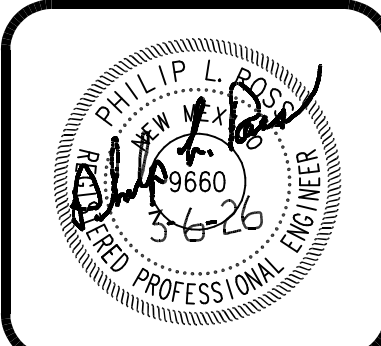
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STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4
WATER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
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Drawn By:	Checked by:
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Date:	Disk:
3/6/26	GENERAL
File Name:	Job No.:
WATER	

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D2 of D6 sheets



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4						
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STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4
SEWER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
3/6/26	GENERAL
File Name:	Job No.:
SEWER	

SHEET
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D3 of D6 sheets

ORIGINAL DRAWING SIZE 24" X 36"

STANDARD PRECAST MANHOLE PLAN

DESIGN STD. NO.: 212.00
SCALE: NTS
DATE: 5/20/08
REVISIONS: APWA UPDATE
DRAWN BY: ZS | APPROVED BY: TTR

1 TIE ALL STEEL WITH WIRE. PLACE ON 3" CHAIRS
2 CLASS A CONCRETE 4000 PSI
3 #4 REBAR AT 4" O.C. EACH WAY AS SHOWN, 2" MIN. CLEAR COVER TYP.
4 CONCRETE EDGES SHALL BE PARALLEL TO CURB LINE OF ROADWAY.
5 PRECAST CONCRETE RINGS

TYPE "C" FIBERGLASS MANHOLE

DESIGN STD. NO.: 211.50
SCALE: NTS
DATE: 3/22/12
REVISIONS: 30" FRAME AND COVER
DRAWN BY: ZS | APPROVED BY: TTR

1 30" FRAME & COVER. REFER TO DESIGN STANDARD NO. 209.00
2 4000 PSI CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 205.00 FOR PAVED AREAS (NON PAVED AREAS SHOWN THIS DETAIL)
3 ADJUSTMENT RINGS (MAX. HEIGHT OF 18")
4 MANHOLE SHALL CONFORM TO ASTM D-3753 (LATEST EDITION) AND CERTIFIED TO BE H-20 LOAD RATED
5 PIPE CUTOUT IN MANHOLE BARREL, MAX. OF 1" CLEARANCE BETWEEN MANHOLE AND O.D. OF PIPE

ALTERNATE PRECAST TYPE "C" MANHOLE

DESIGN STD. NO.: 211.00
SCALE: NTS
DATE: 12/20/11
REVISIONS: 30" FRAME AND COVER
DRAWN BY: ZS | APPROVED BY: TTR

1 30" FRAME & COVER. COVER MARKED "SANITARY SEWER" AND CITY OF HOBBBS LOGO, REFER TO DESIGN STANDARD NO. 209.00
2 4000 PSI CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 205.00
3 STANDARD PRE CAST CONCRETE CONE
4 6" MIN. PRE CAST REINFORCED CONCRETE RINGS, MASTIC SEAL AT ALL JOINTS.
5 ALL GROUT IN ALL MANHOLES SHALL START AT A LINE EQUAL TO THE TOP OF SEWER PIPE THEN SLOPE AT 1" PER FOOT UP TO WALLS.
6 4000 PSI CONCRETE BASE TO BE POURED IN PLACE USING #6 REBAR AT 8" O.C. EACH WAY. FOR MANHOLE DEPTH, FROM RIM TO INVERT, OF UP TO 16" AND MAXIMUM PIPE DIAMETER OF 24".
7 COMPACT BACKFILL UNDER ALL MANHOLES TO 95% MODIFIED PROCTOR DENSITY.
8 CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF M.H. TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE.
9 APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
10 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
11 INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
12 USE PRECAST ADJUSTMENT RINGS OR MAX. 4 COURSES GR. MS BRICK FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. GROUT INSIDE WITH 1/2" MORTAR.
13 REFER TO DESIGN STANDARD DRAWING NO. 212.00 FOR CROSS SECTIONS A-A AND B-B

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

SEWER LINE ENCASEMENT DETAIL

DESIGN STD. NO.: 281.00
SCALE: NTS
DATE: 5/20/08
REVISIONS: APWA UPDATE
DRAWN BY: ZS | APPROVED BY: TTR

1 CONCRETE ENCASEMENT
2 NO. 4 REBAR STIRRUPS AT 36" O.C. TYP.
3 4 - NO. 4 CONTINUOUS REBAR WITH 3" MINIMUM CLEAR COVER TYP.

PROXIMITY OF WATER AND SEWER LINES

WHENEVER POSSIBLE, IT IS DESIRABLE TO LAY PARALLEL WATER AND SEWER LINES AT LEAST 10 FEET APART HORIZONTALLY, AND THE WATER LINE SHOULD BE AT A HIGHER ELEVATION THAN THE SEWER. IF THIS IS NOT POSSIBLE, SEPARATE TRENCHES SHALL BE REQUIRED IN ALL CASES (THIS SHALL BE EFFECTIVE EVEN THOUGH ONE LINE HAS BEEN INSTALLED PRIOR TO THE OTHER) AND THE WATER LINE SHALL BE AT LEAST TWO (2) FEET ABOVE THE SEWER. WHEN WATER AND SEWER LINES CROSS EACH OTHER, THE WATER LINE SHALL BE AT LEAST TWO (2) FEET ABOVE THE SEWER; OTHERWISE, THE SEWER SHALL BE OF DUCTILE PIPE, OR AS DESCRIBED IN THIS DETAIL, FOR 10 FEET EACH SIDE OF THE WATER LINE.

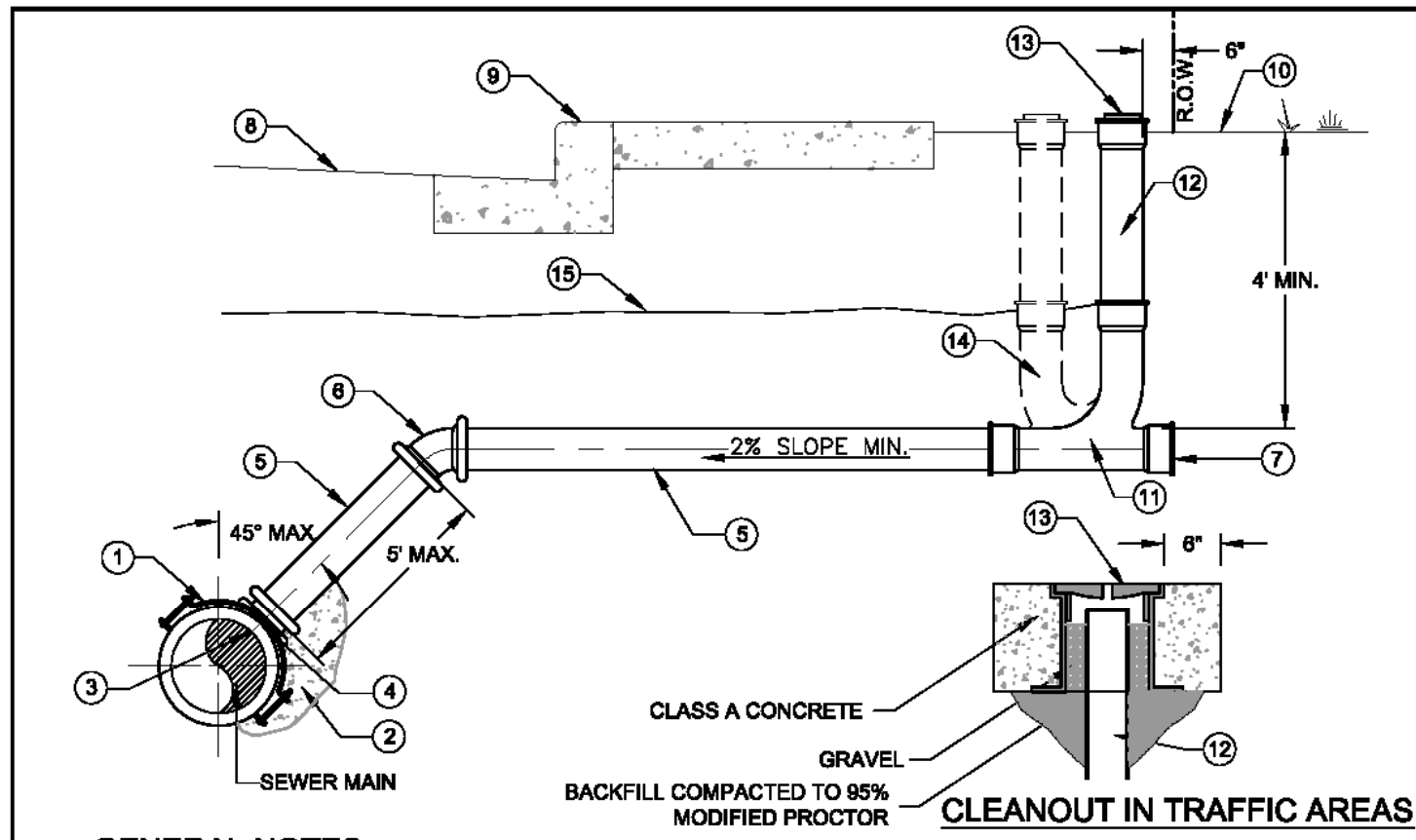
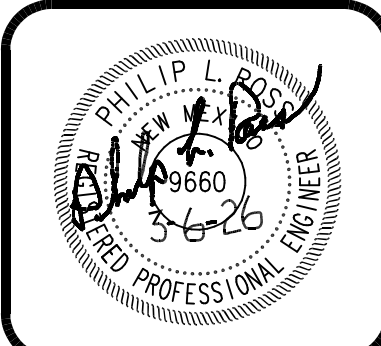
SEE SHEET D2 (WATER DETAILS) FOR TYPICAL TRENCH DETAILS, MECHANICAL COMPACTION AND OPTIONAL FLOWABLE FILL.

VERTICAL DROP AT MANHOLE

DESIGN STD. NO.: 220.00
SCALE: NTS
DATE: 5/20/08
REVISIONS: APWA UPDATE
DRAWN BY: ZS | APPROVED BY: TTR

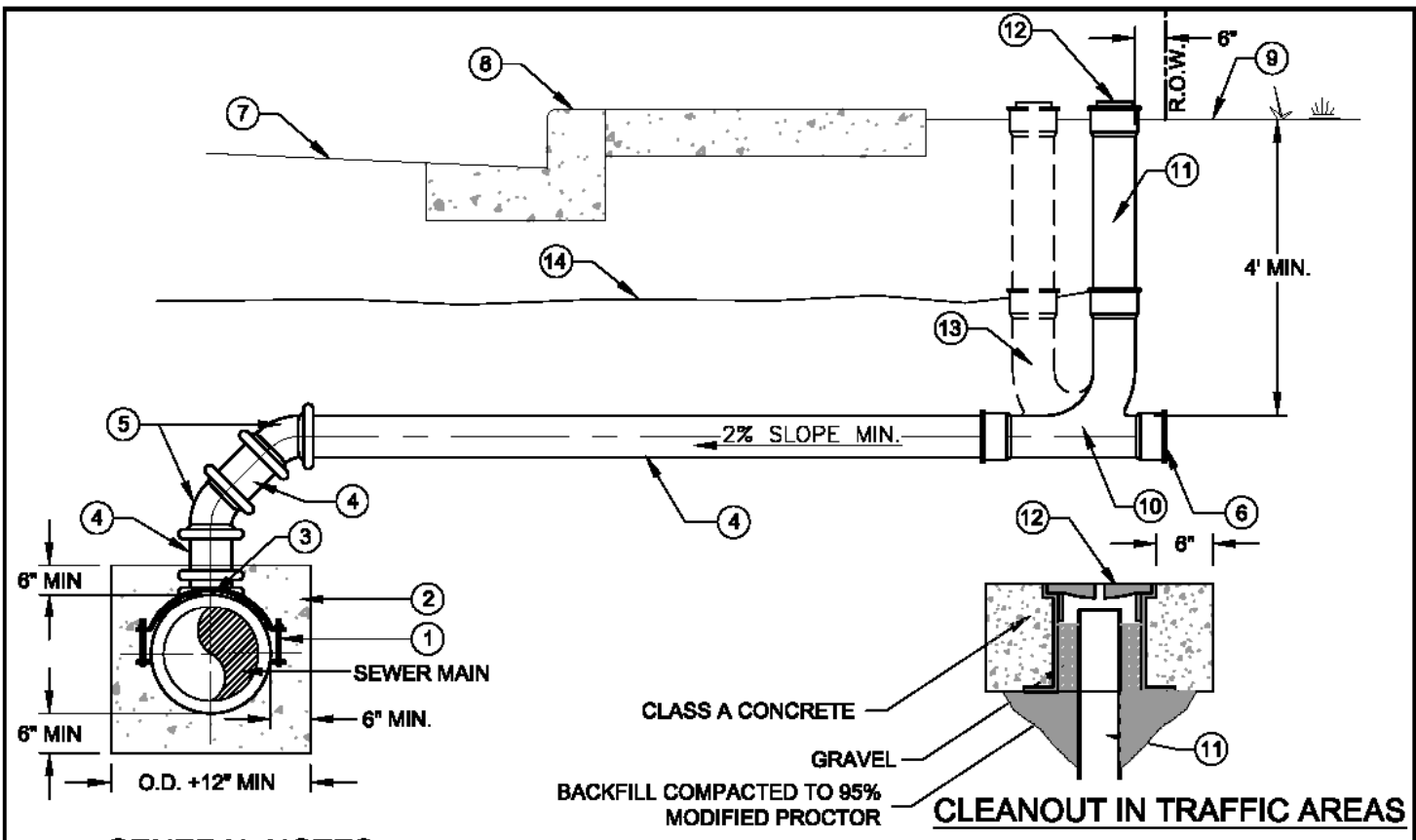
1 USE D.I. OR P.V.C. (SDR 21) PIPE THROUGHOUT DROP.
2 USE BELL AND SPIGOT 48" SHORT OR LONG RADIUS BEND.
3 FOR NEW DROP ON EXISTING MANHOLE CONSTRUCT A 3' X 3' CONCRETE BASE BEFORE CONSTRUCTING DROP SUPPORT.
4 6" MIN. PRE CAST REINFORCED CONCRETE RINGS, MASTIC SEAL AT ALL JOINTS.
5 ALL GROUT IN ALL MANHOLES SHALL START AT A LINE EQUAL TO THE TOP OF SEWER PIPE THEN SLOPE AT 1" PER FOOT UP TO WALLS.
6 4000 PSI CONCRETE BASE TO BE POURED IN PLACE USING #6 REBAR AT 8" O.C. EACH WAY. FOR MANHOLE DEPTH OF UP TO 16" AND MAX. PIPE DIAMETER OF 30".
7 COMPACT BACKFILL UNDER ALL MANHOLES TO 95% MODIFIED PROCTOR DENSITY.
8 INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
9 MANHOLE TYPE FOR UPPER PORTION WILL BE SPECIFIED ON DESIGN PROFILE
10 CORE DRILL FOR ALL WALL PENETRATIONS ON EXISTING MANHOLES.

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS



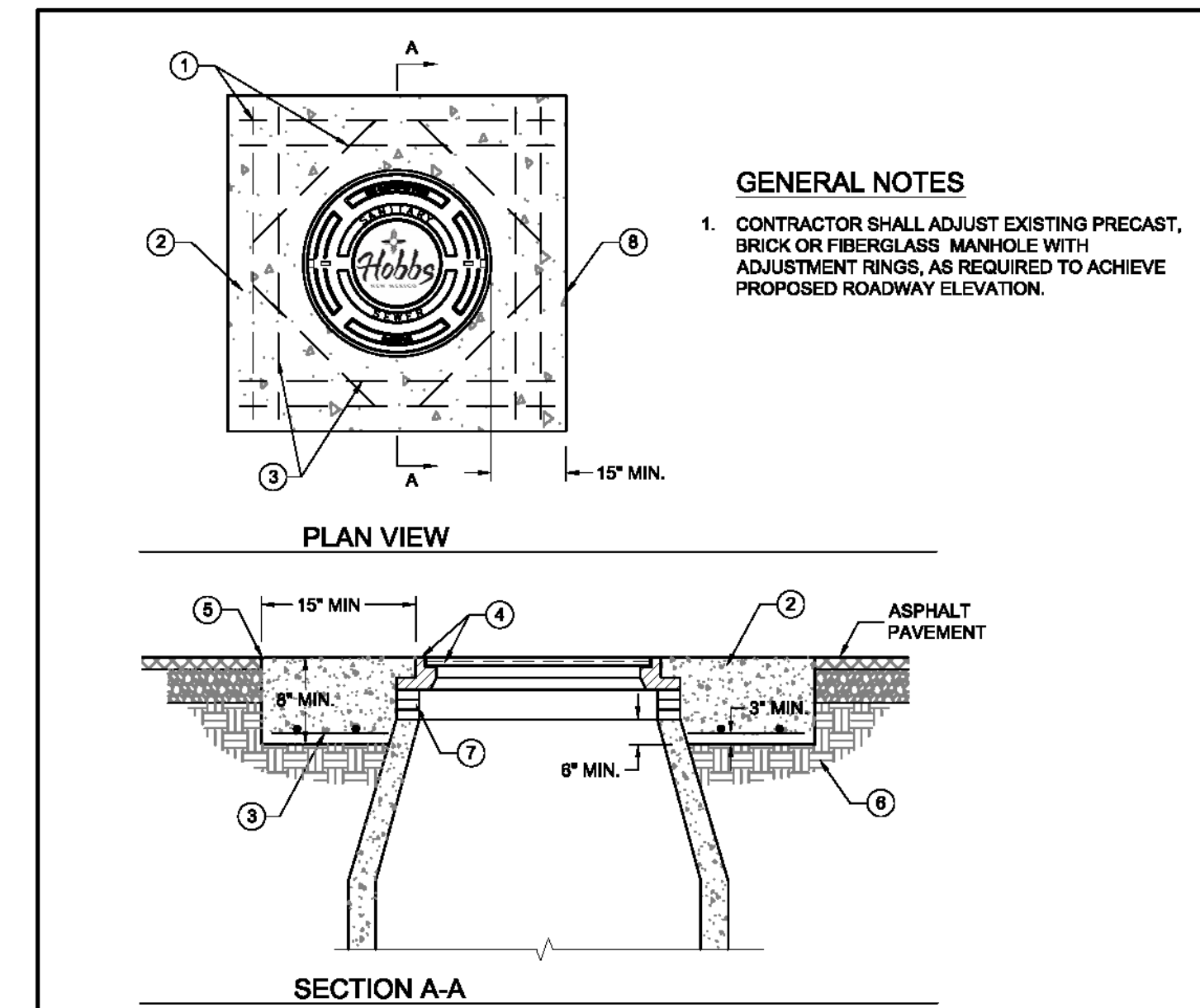
- GENERAL NOTES**
1. ALL SERVICE LINES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NEW MEXICO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
 - 1 SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL.
 - 2 BACKFILL UNDER SERVICE WITH MIN. 1 CUBIC FOOT OF P.C. CONCRETE (SACKCRETE OR EQUAL ALLOWABLE)
 - 3 SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
 - 4 CORE DRILLED USING FOWLER QUICK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM, OR APPROVED EQUAL.
 - 4 SERVICE LINE, CAST IRON SOIL PIPE (SERVICE WEIGHT), PVC SCHEDULE 40, OR ABS SCHEDULE 40
 - 22.5° OR 45° BEND
 - 7 PLUG OR CAP
 - 8 STREET SURFACE
 - 9 STAMP OR CHISEL A "S" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE AT EACH SERVICE LATERAL.
 - 10 FINISHED GRADE
 - 11 WYE
 - 12 4" PVC RISER
 - 13 CONCRETE ENCASED TRAFFIC RATED SEWER CLEANOUT FRAME AND COVER ASSEMBLY (LBIW LB 1240X-610A OR APPROVED EQUAL), PVC CAP IN NON TRAFFIC AREAS
 - 14 OPTIONAL DOUBLE WYE ASSEMBLY (4" PVC RISER & PVC CLEAN OUT)
 - 15 WARNING TAPE

SEWER LATERAL DETAIL		DESIGN STD. NO.: 200.00
SCALE: NTS	REVISIONS	
DATE	12/20/11	TRAFFIC RATED CLEANOUT
CITY OF HOBBS ENGINEERING DEPARTMENT		
CONSTRUCTION DETAILS & SPECIFICATIONS		
DRAWN BY: ZS	APPROVED BY: TTR	



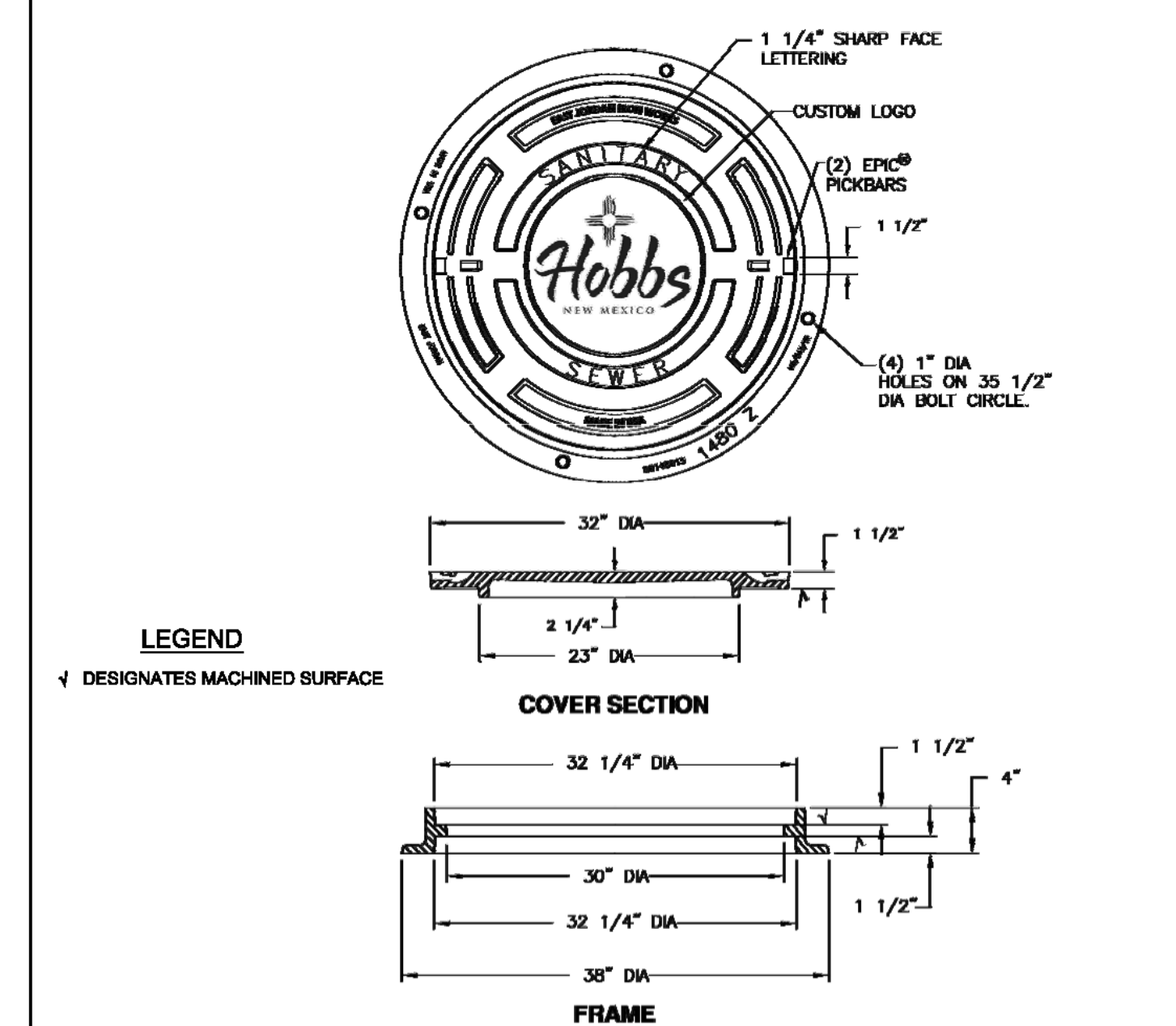
- GENERAL NOTES**
1. ALL SERVICE LINES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NEW MEXICO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
 - 1 SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL.
 - 2 INSTALL CONCRETE CRADLE ON TEE, 1-8" CENTERED HORIZONTALLY ALONG SEWER MAIN, VERTICAL AS SHOWN. (RIGID PIPE ONLY)
 - 3 CORE DRILLED USING FOWLER QUICK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM, OR APPROVED EQUAL SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
 - 4 SERVICE LINE, CAST IRON SOIL PIPE (SERVICE WEIGHT), PVC SCHEDULE 40, OR ABS SCHEDULE 40
 - 45° BEND
 - 6 PLUG OR CAP
 - 7 STREET SURFACE
 - 8 STAMP OR CHISEL A "S" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE AT EACH SERVICE LATERAL.
 - 9 FINISHED GRADE
 - 10 WYE
 - 11 4" PVC RISER
 - 12 CONCRETE ENCASED TRAFFIC RATED SEWER CLEANOUT FRAME AND COVER ASSEMBLY (LBIW LB 1240X-610A OR APPROVED EQUAL), PVC CAP IN NON TRAFFIC AREAS
 - 13 OPTIONAL DOUBLE WYE ASSEMBLY (4" PVC RISER & PVC CLEAN OUT)
 - 14 WARNING TAPE

ALTERNATE SEWER LATERAL DETAIL		DESIGN STD. NO.: 201.00
SCALE: NTS	REVISIONS	
DATE	12/20/11	TRAFFIC RATED CLEANOUT
CITY OF HOBBS ENGINEERING DEPARTMENT		
CONSTRUCTION DETAILS & SPECIFICATIONS		
DRAWN BY: ZS	APPROVED BY: TTR	



- GENERAL NOTES**
1. CONTRACTOR SHALL ADJUST EXISTING PRECAST, BRICK OR FIBERGLASS MANHOLE WITH ADJUSTMENT RINGS, AS REQUIRED TO ACHIEVE PROPOSED ROADWAY ELEVATION.
- KEYED NOTES:**
- 1 TIE ALL STEEL WITH WIRE. PLACE ON 3" CHAIRS
 - 2 CLASS AA CONCRETE 4000 PSI
 - 3 #4 REBAR AT 8" O.C. EACH WAY AS SHOWN, 3" MIN. CLEAR COVER TYP.
 - 4 24" OR 30" FRAME & COVER, REFER TO DESIGN STANDARD 209.00 FOR 30" FRAME & COVER. ALL NEW MANHOLES SHALL HAVE 30" FRAME & COVER
 - 5 1/2" TOOLED RADIUS. TACK COAT ON ALL EDGES TYP.
 - 6 COMPACT ALL BACKFILL TO 95% MODIFIED PROCTOR DENSITY
 - 7 USE ADJUSTMENT RINGS OR MAX. 2 COURSES GR MS BRICK FOR ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. 18" MAX HEIGHT ADJUSTMENT.
 - 8 CONCRETE EDGES SHALL BE PARALLEL TO CURB LINE OF ROADWAY.

TYPICAL MANHOLE ADJUSTMENT DETAIL		DESIGN STD. NO.: 206.00
SCALE: NTS	REVISIONS	
DATE	03/22/12	30" FRAME & COVER
CITY OF HOBBS ENGINEERING DEPARTMENT		
CONSTRUCTION DETAILS & SPECIFICATIONS		
DRAWN BY: ZS	APPROVED BY: TTR	



- LEGEND**
- ▽ DESIGNATES MACHINED SURFACE
- COVER SECTION**
- FRAME**
- GENERAL NOTES:**
1. CAST IRON MANHOLE RING & DUCTILE IRON COVER SET SHALL BE E1 PRODUCT NUMBER 41430120A01, AS SHOWN, OR APPROVED EQUIVALENT
 2. MANHOLE FRAME & COVER ASSEMBLY SHALL BE AASHTO H-20 LOAD RATED
 3. DUCTILE IRON CASTINGS SHALL BE GRADE 70-60-06 AND CONFORM TO ASTM A536 (LATEST EDITION)
 4. GREY IRON CASTINGS SHALL BE CL35 CONFORM TO ASTM A48 (LATEST EDITION)
 5. THE MANHOLE FRAME & COVER ARE TO BE UNCOATED.

STANDARD MANHOLE RING & COVER		DESIGN STANDARD NO.: 209.00
SCALE: NTS	REVISIONS	
DATE	3/22/12	FRAME & COVER W/LOGO
CITY OF HOBBS ENGINEERING DEPARTMENT		
CONSTRUCTION DETAILS & SPECIFICATIONS		
DRAWN BY: ZS	APPROVED BY: TTR	

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STUARD DEVELOPMENT
TRINITY ESTATES
UNIT 4
SEWER DETAILS CONTINUED

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By: SMM	Checked by: PLR
Date: 3/6/26	Disk: GENERAL
File Name: SEWER	Job No.:

SHEET
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D4 of D6 sheets

ORIGINAL DRAWING SIZE 24" X 36"

Design Pending

DRAWING PROVIDED BY XCEL ENERGY.

ORIGINAL DRAWING SIZE 24" X 36".

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

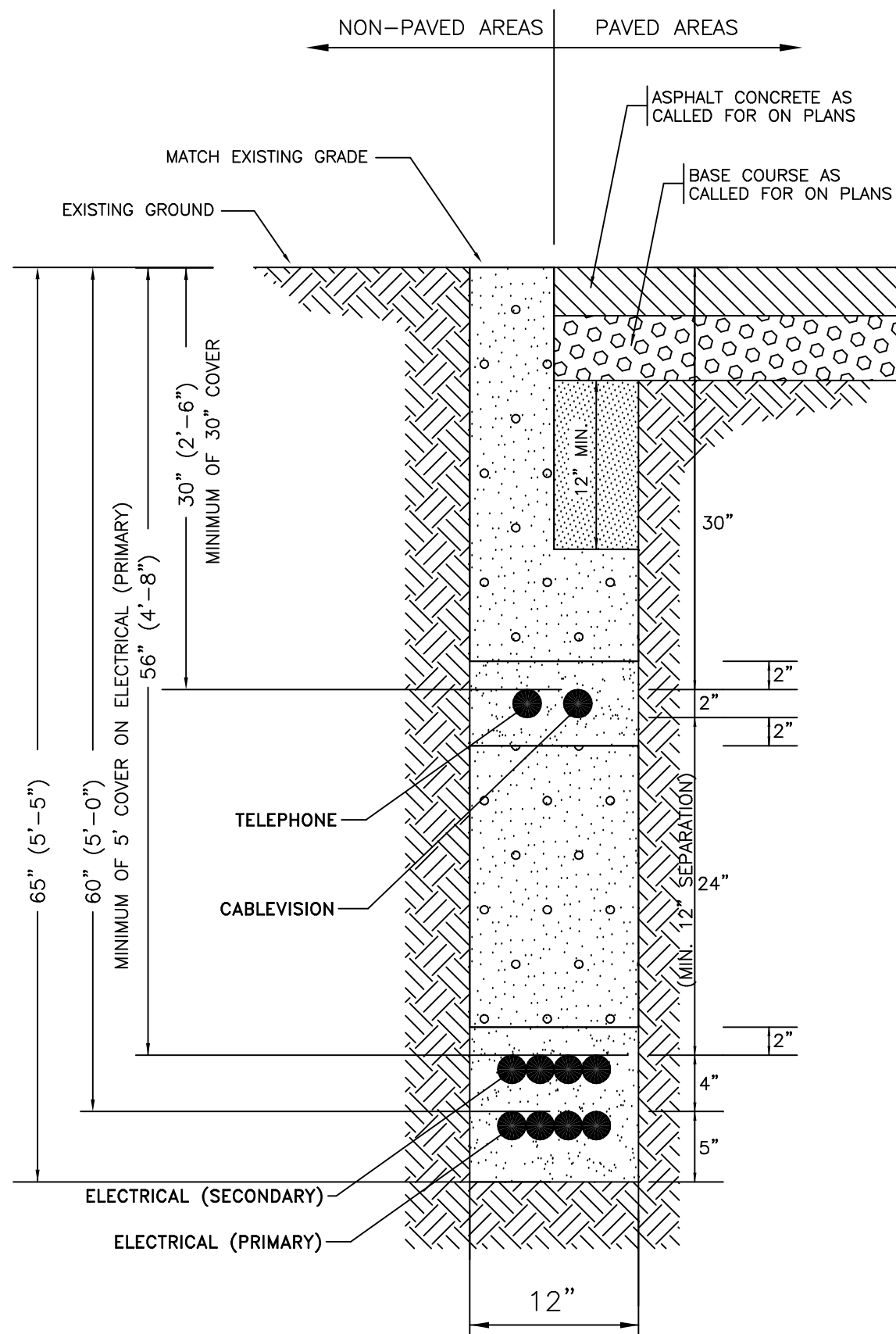
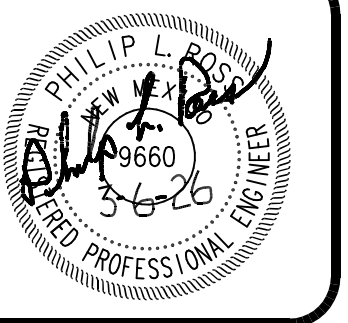
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the ROSS GROUP
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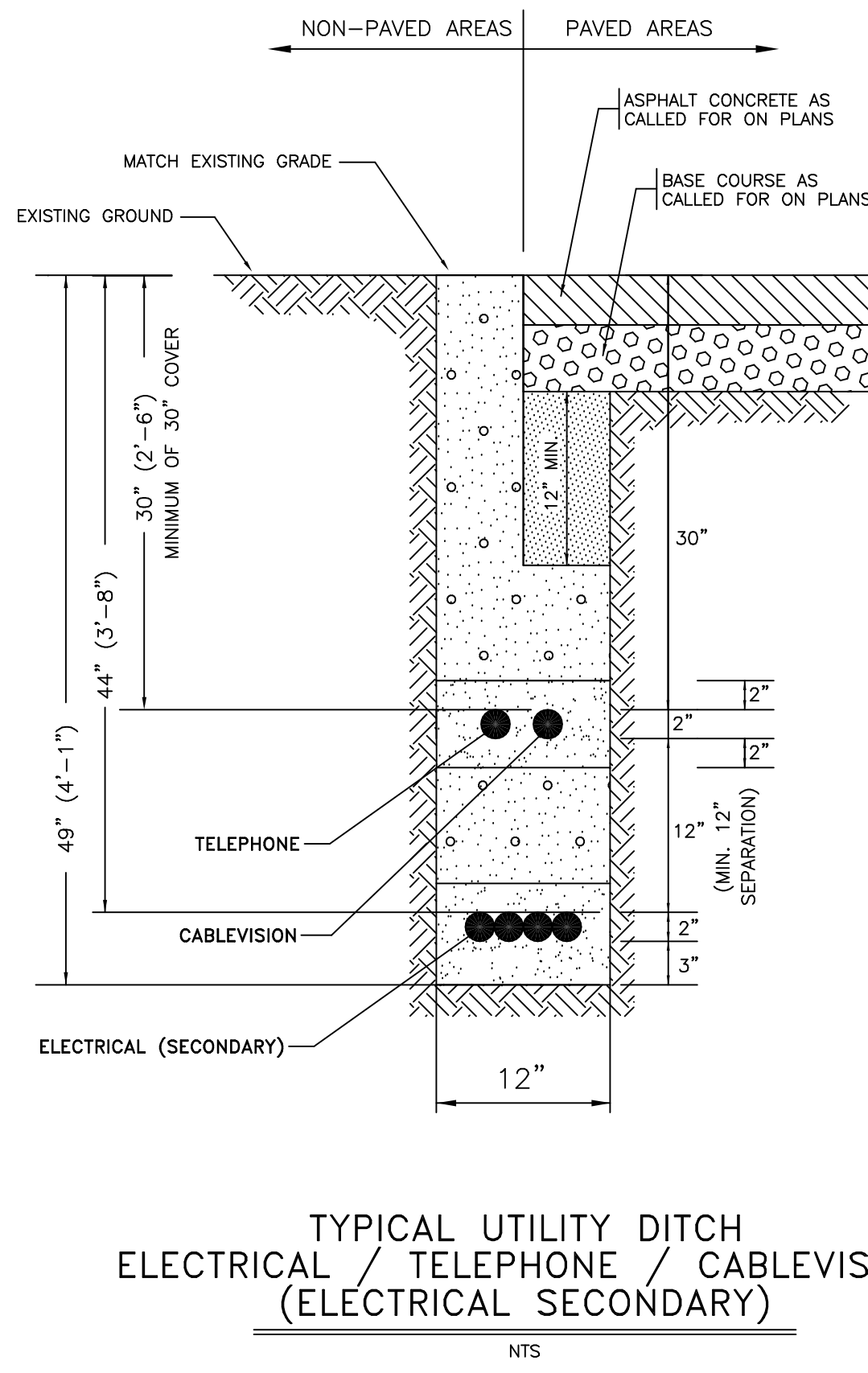
DSTUARD DEVELOPMENT - TRINITY ESTATES
 UNIT 4
 UTILITY (ELECTRIC/CABLE/TELEPHONE)
 LAYOUT PLAN (BY XCEL ENERGY)

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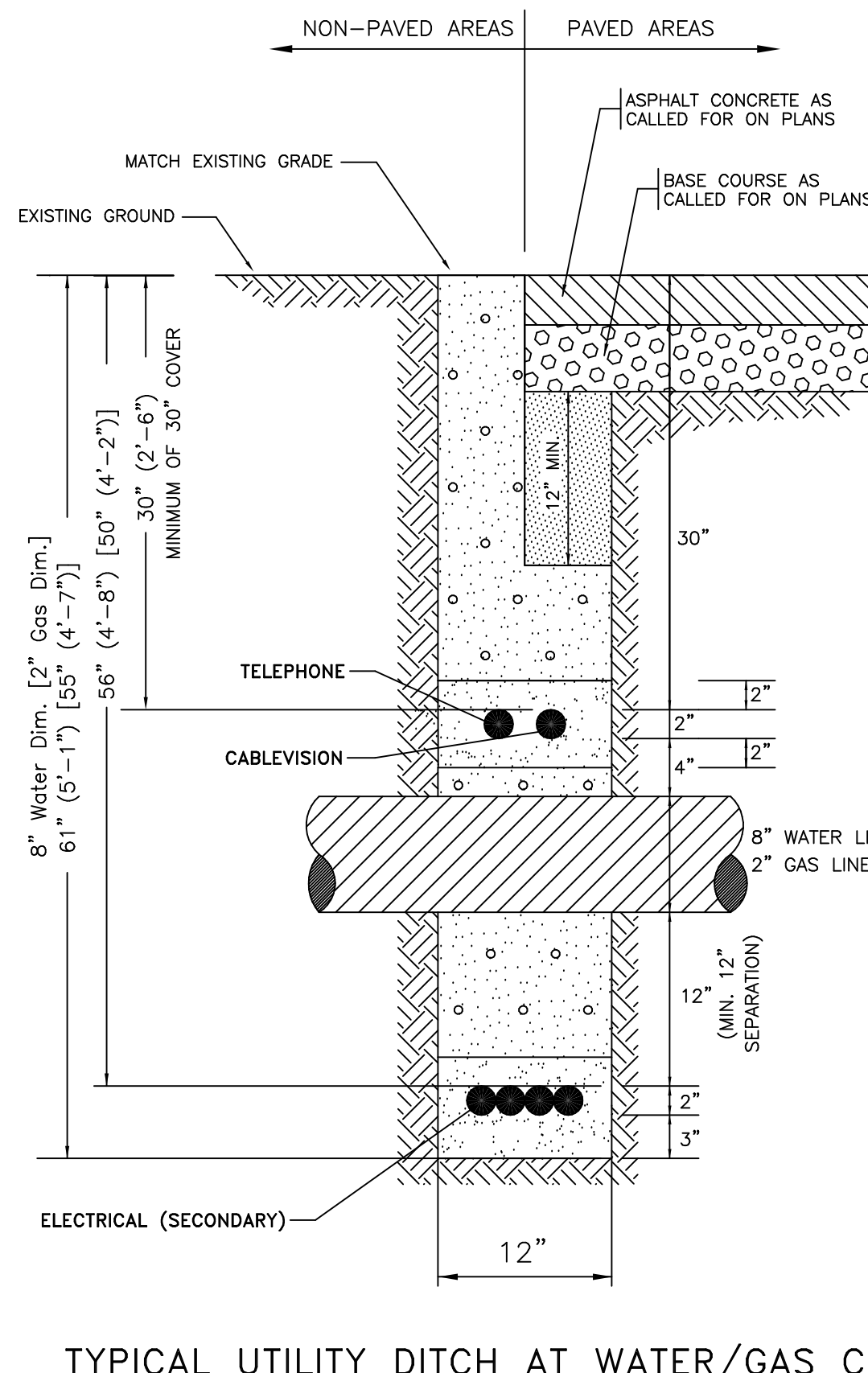
DRAWING PROVIDED BY XCEL ENERGY.



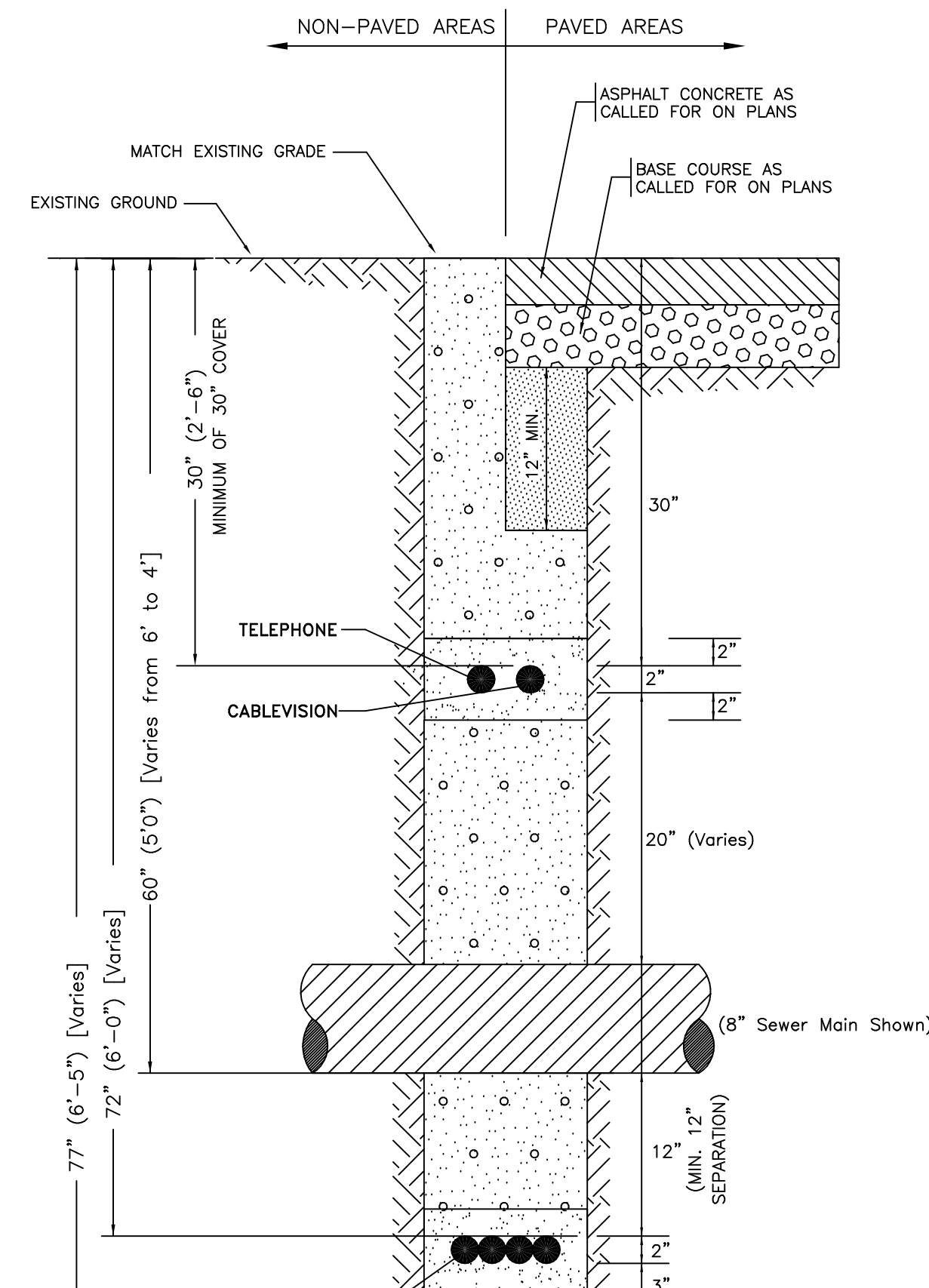
TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL PRIMARY)
NTS



TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT WATER/GAS CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT SEWER CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS

LEGEND
UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS

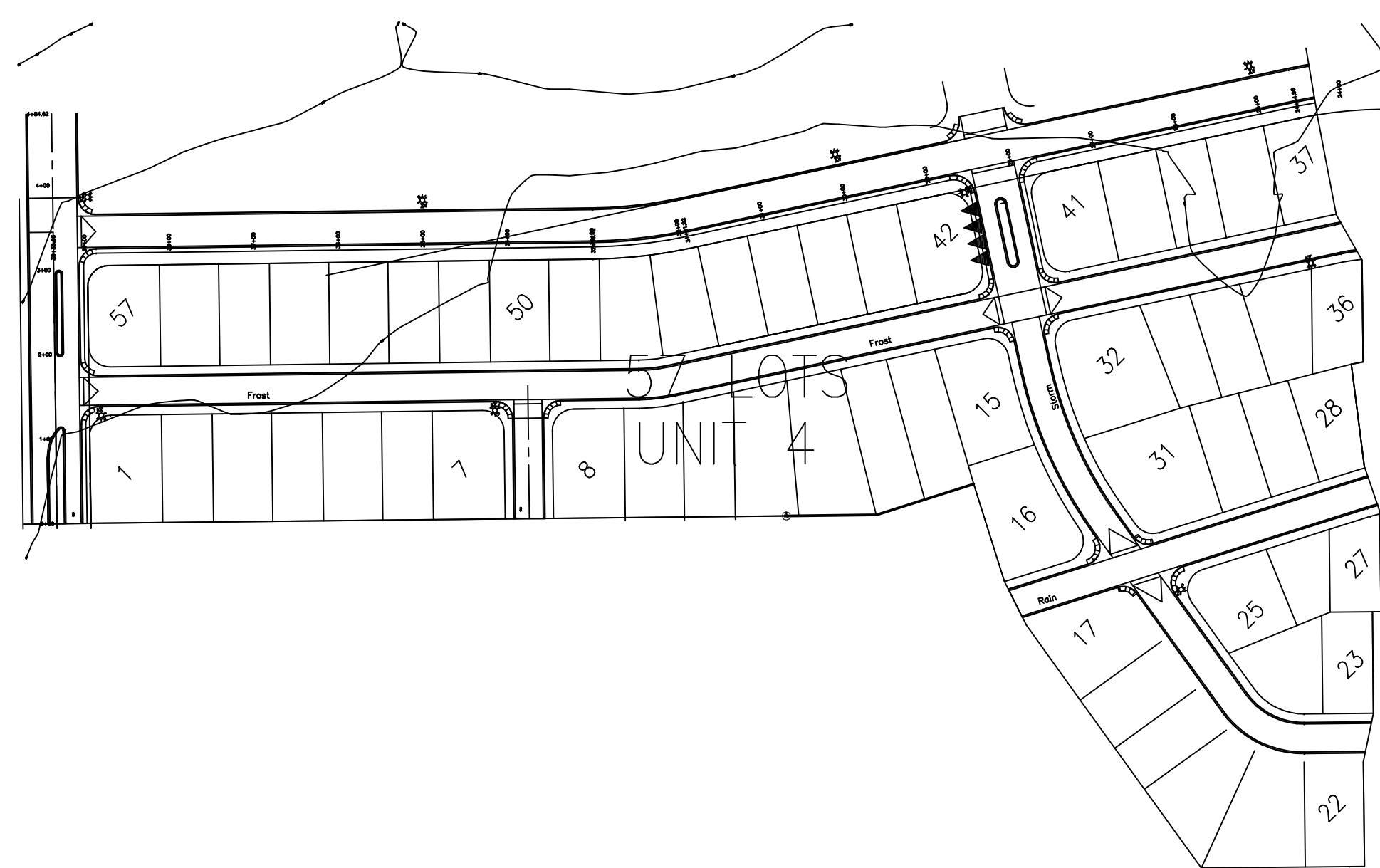
	NATIVE MATERIAL, 95% ASTM D-1557		SELECT BACKFILL MATERIAL, FREE FROM ROCKS GREATER THAN 1/4 INCH DIAMETER, DIRT CLODS, OR FROZEN MATERIAL
	NATIVE MATERIAL, 90% ASTM D-1557		UNDISTURBED EARTH

CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER or SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.

LEGEND

- ▲ 16 UNIT CBU (TOTAL 4 FOR UNIT 4)
- 57 Lots - 7 Extra Boxes - 8 Parcel Boxes

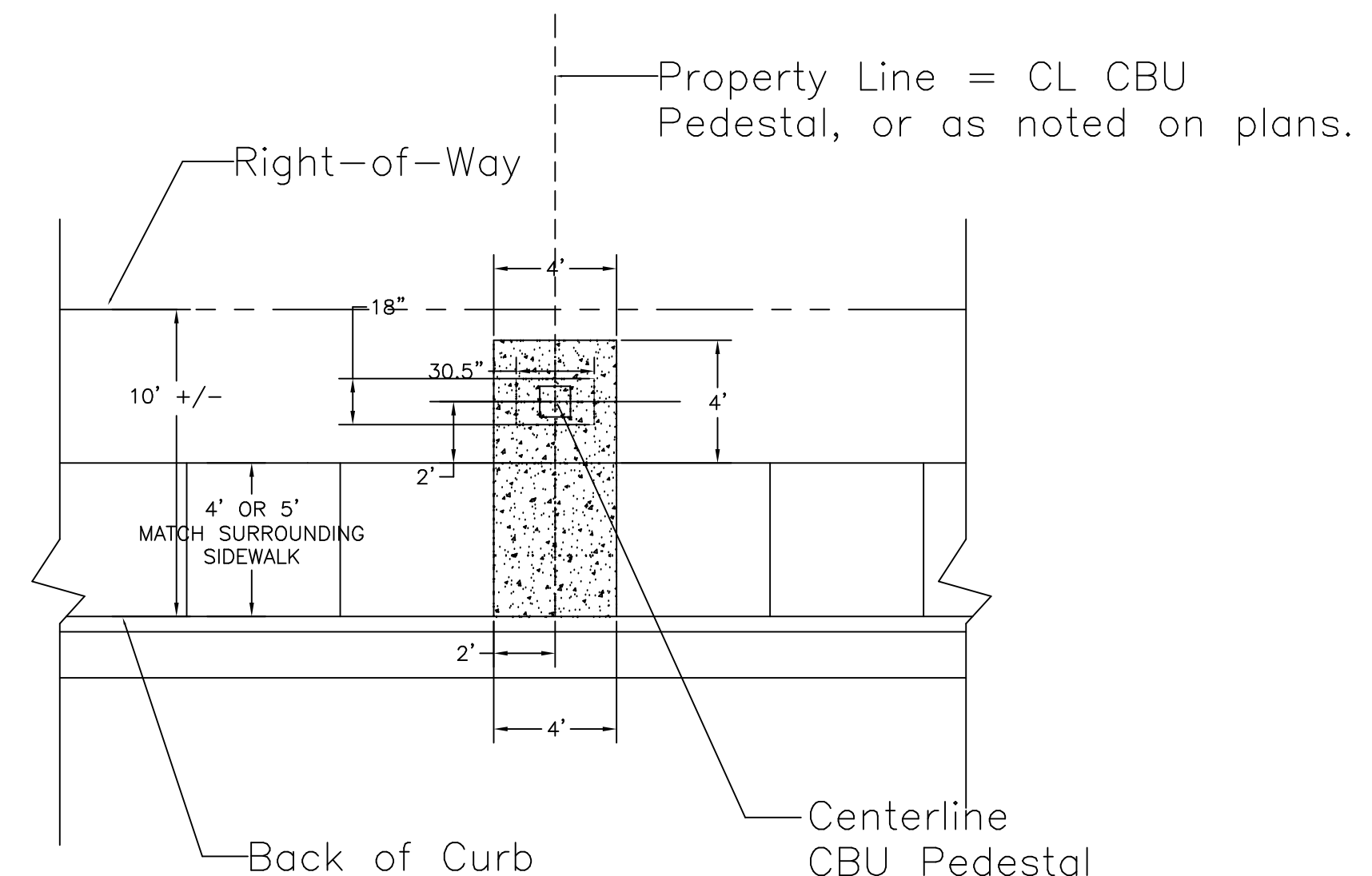


CLUSTER BOX UNIT (CBU) TYPE AND LOCATION
NTS

CLUSTER BOX UNITS (CBU'S) GENERAL NOTES:

CBU'S AVAILABLE AT WWW.MAILBOXES.COM.

16 UNIT CBU TO BE MODEL NUMBER 3316, WITH PEDESTAL 3385. MANUFACTURED BY SALSBUURY INDUSTRIES - ALL ALUMINUM CONSTRUCTION CONTAINING AN OUTGOING MAIL SLOT AND 2 PARCEL LOCKERS EACH. ALL CBU KEYS TO BE DELIVERED TO THE ENGINEER FOR DELIVERY TO THE POST OFFICE.



- Notes:
- Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
 - See manufacturer's installation guide for installation of CBU pedestal and box.
 - Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
 - If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.

TYPICAL CLUSTER BOX UNIT (CBU) CONCRETE DETAIL
NTS

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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STUARD DEV., TRINITY ESTATES
UNIT 4
UTILITY (ELECTRIC/CABLE/TELEPHONE)
TRENCH DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
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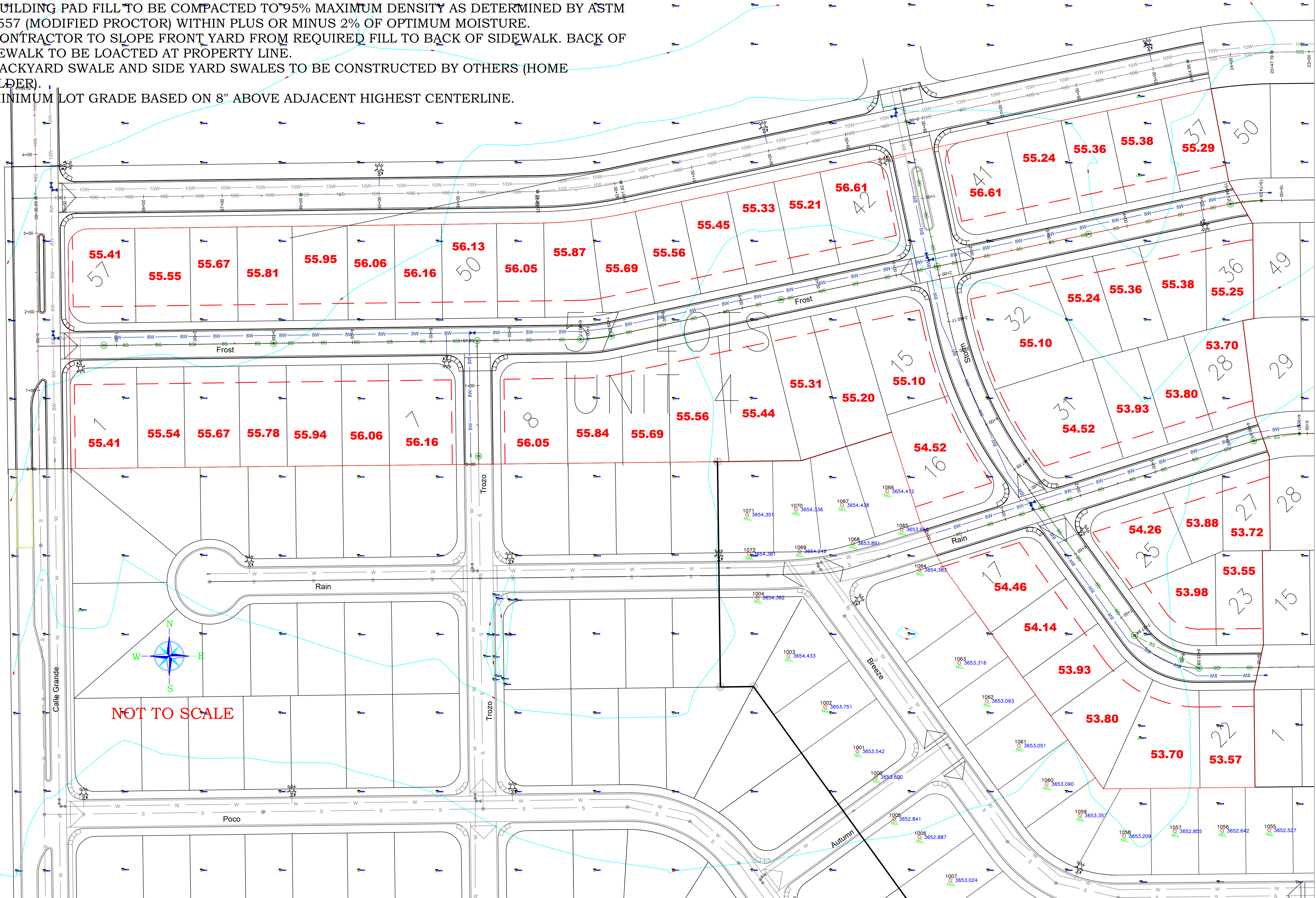
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SMM	PLR
Date:	Disk:
3/6/26	GENERAL
File Name:	Job No.:
ROADS	

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D6 of D6 sheets

ORIGINAL DRAWING SIZE 24" X 36"

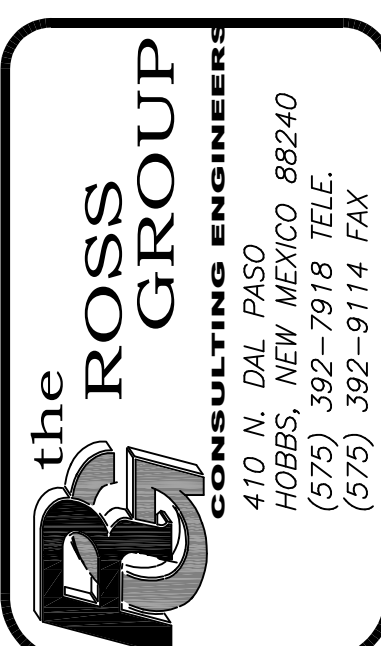
NOTES:

1. BUILDING PAD/LOT FILL TO BE FROM 31' BACK OF CURB TO REAR LOT LINE. THIS ALLOWS A 21' BUILDING SETBACK FROM THE PROPERTY LINE.
2. BUILDING PAD FILL TO BE PLACED ON WATERED, MIXED AND ROLLED SUBGRADE MATERIAL.
3. BUILDING PAD FILL TO BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR) WITHIN PLUS OR MINUS 2% OF OPTIMUM MOISTURE.
4. CONTRACTOR TO SLOPE FRONT YARD FROM REQUIRED FILL TO BACK OF SIDEWALK. BACK OF SIDEWALK TO BE LOCATED AT PROPERTY LINE.
5. BACKYARD SWALE AND SIDE YARD SWALES TO BE CONSTRUCTED BY OTHERS (HOME BUILDER).
6. MINIMUM LOT GRADE BASED ON 8" ABOVE ADJACENT HIGHEST CENTERLINE.



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STUARD DEVELOPMENT
 TRINITY ESTATES
 UNIT 4
 PROPOSED MINIMUM LOT GRADES



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8) Review and Consider Side Yard Setback Variance at
1430 West Paige Drive



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

SUBJECT: SIDE YARD SETBACK VARIANCE AND PUBLIC RIGHT-OF-WAY ENCROACHMENT AT 1430 WEST PAIGE DRIVE.

DEPT. OF ORIGIN: Planning Department

DATE SUBMITTED: January 5th, 2026

SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

The Property Owner is requesting approval for a complete side yard setback variance (10ft for corner lot) and to build their carport on the property line for a zero-setback. Major Thoroughfare Plan states that “no structure shall be permitted within five (5) feet of the front or side property line,” (pg. 11).

Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

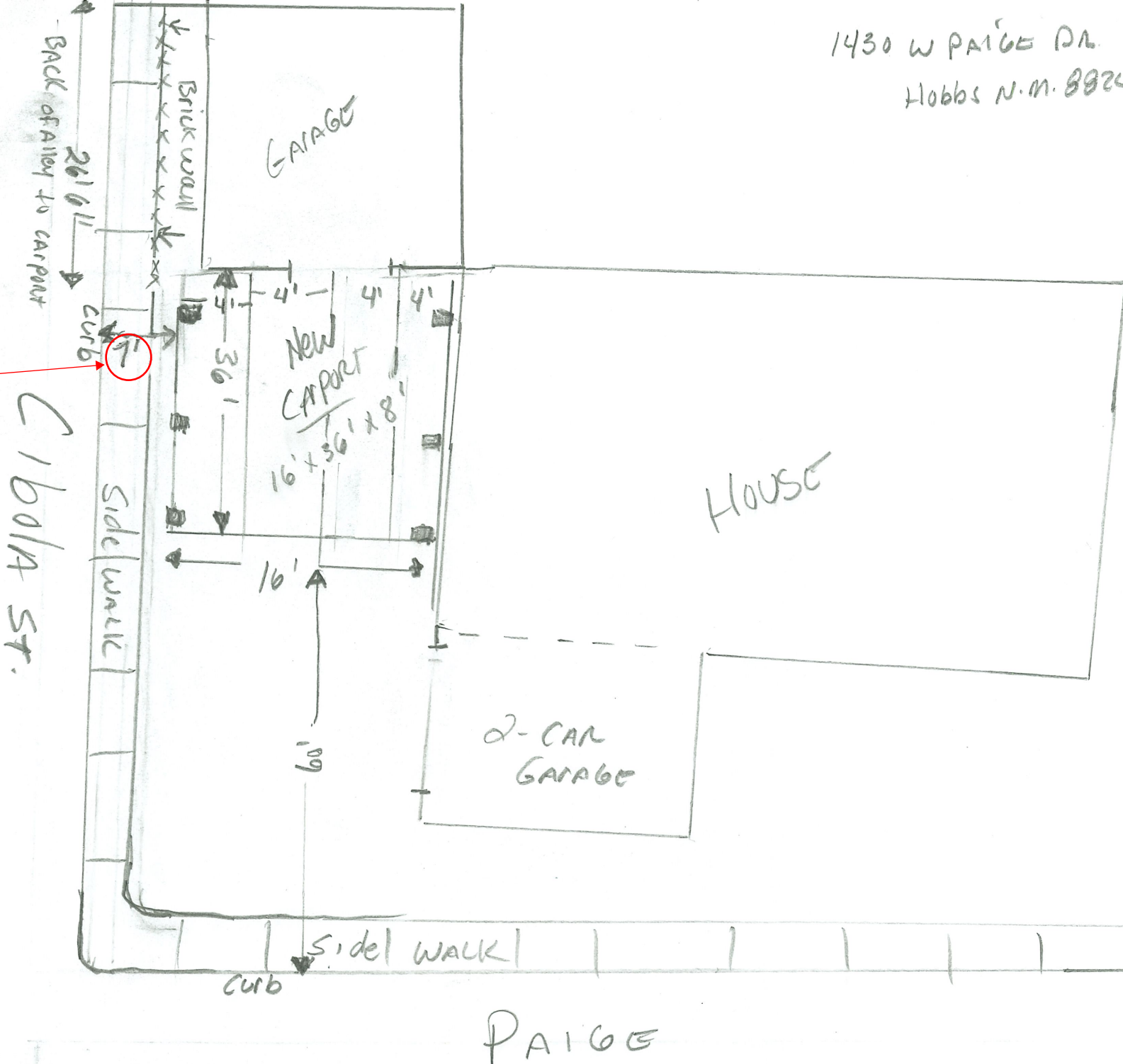
Attachments:

- Application by Resident
- Owner provided site plan



Address: 1430 W Paige Drive

1430 W PAIGE DR.
Hobbs N.M. 88240



Site visit showed that the carport is actually 5' 7" from back of curb. 7' from edge of gutter.



PLANNING DEPARTMENT

200 E. Broadway St.
Hobbs, NM 88240

575-397-9351 bus
575- 397-9227 fax

Hobbs Planning Board

**Dedrick P Pallanes
1430 West Paige Drive
Hobbs, NM 88240**

Subject: Side yard Encroachment of Public Right-of-Way (Major Thoroughfare Plan) for 1430 West Paige Drive - DENIED

Parcel ID: 4000750920001

Date: February 24, 2026

On February 17, 2026, the Hobbs Planning Board convened and formally **denied the request** for the carport construction built 5ft into the public right-of-way. The current carport is about 5ft from back of curb, with an approved variance the carport would need to be 10ft from back of curb. Meaning, **the additional 5ft currently in the public right-of-way was denied.** Property Owner has the following options:

- a. Remove 5ft of the carport that is built into the public right-of-way, so that the carport is 10ft from back of curb and meets the property line. Variance Request Form will be required to formally approve carport at the property line.
- b. Remove the carport entirely

The decision to deny the encroachment was based on: Non-Compliance - The proposed structure is built 5ft into the public right-of-way, currently restricted by the City of Hobbs Major Thoroughfare Plan. **Public Notification Results –** Notices were sent via certified mail; the Planning Dept. received copies and input with objections from the neighboring resident(s). **Failure to Demonstrate Unique Hardship –** Significant unique physical hardship was not demonstrated.

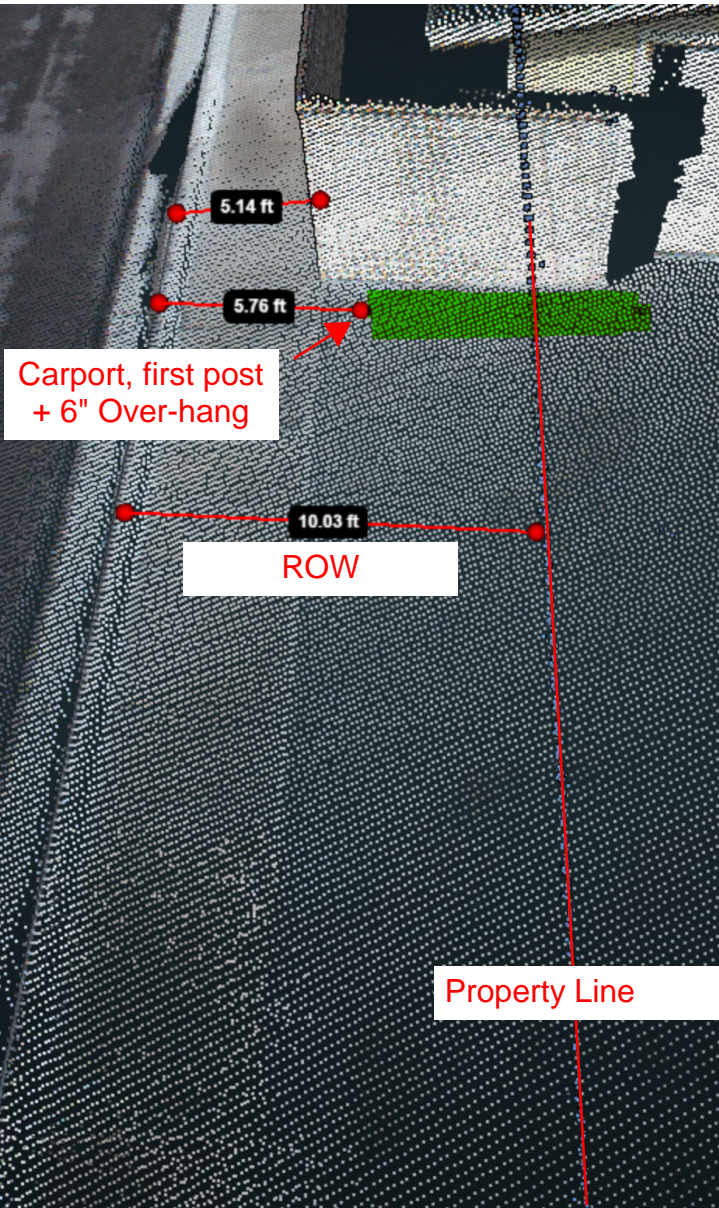
The Planning Board has sole determination regarding setbacks/encroachments and the right to grant approval or denial of variances, no appeals process is available for encroachment denials. This letter serves as official notification of the Planning Board's final decision to **deny the encroachment of the public right-of-way.**

If you have any questions, please contact the Planning Department at 575-397-9232

**City of Hobbs, Planning Board
William “Tres” Hicks, III, Chairman**

Digitally signed by W.M. (Tres) Hicks, PE-PS
 DN: C=US,
 E=thicks@pettigrew.us,
 O="Pettigrew & Associates, P.A.",
 CN="W.M. (Tres) Hicks, PE-PS"
 Reason: I am approving this document
 Date: 2026.03.17 09:25:18-06'00'

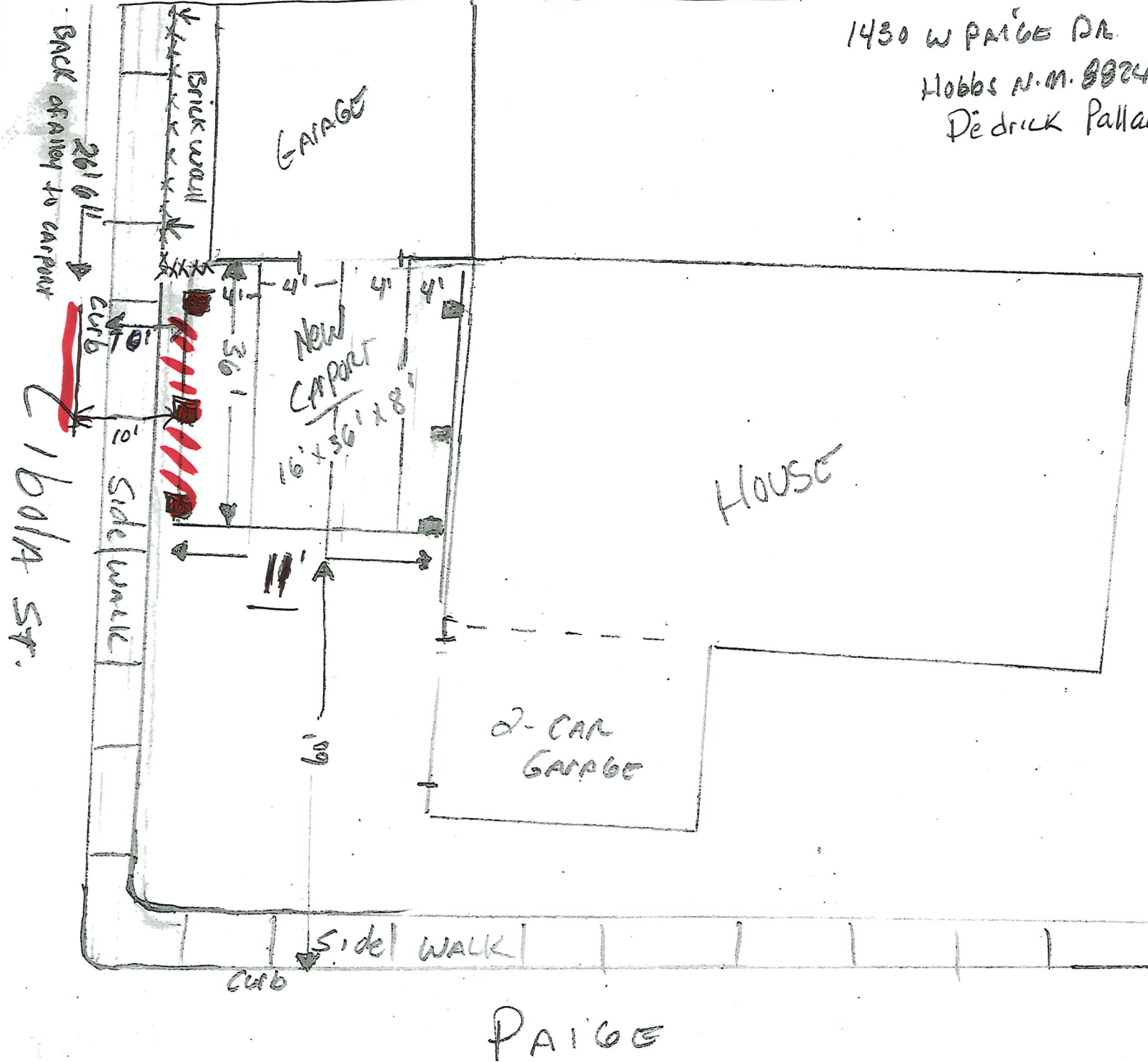
1430 West Paige Drive (LiDAR Visualization)



1430 W PAIGE DR.

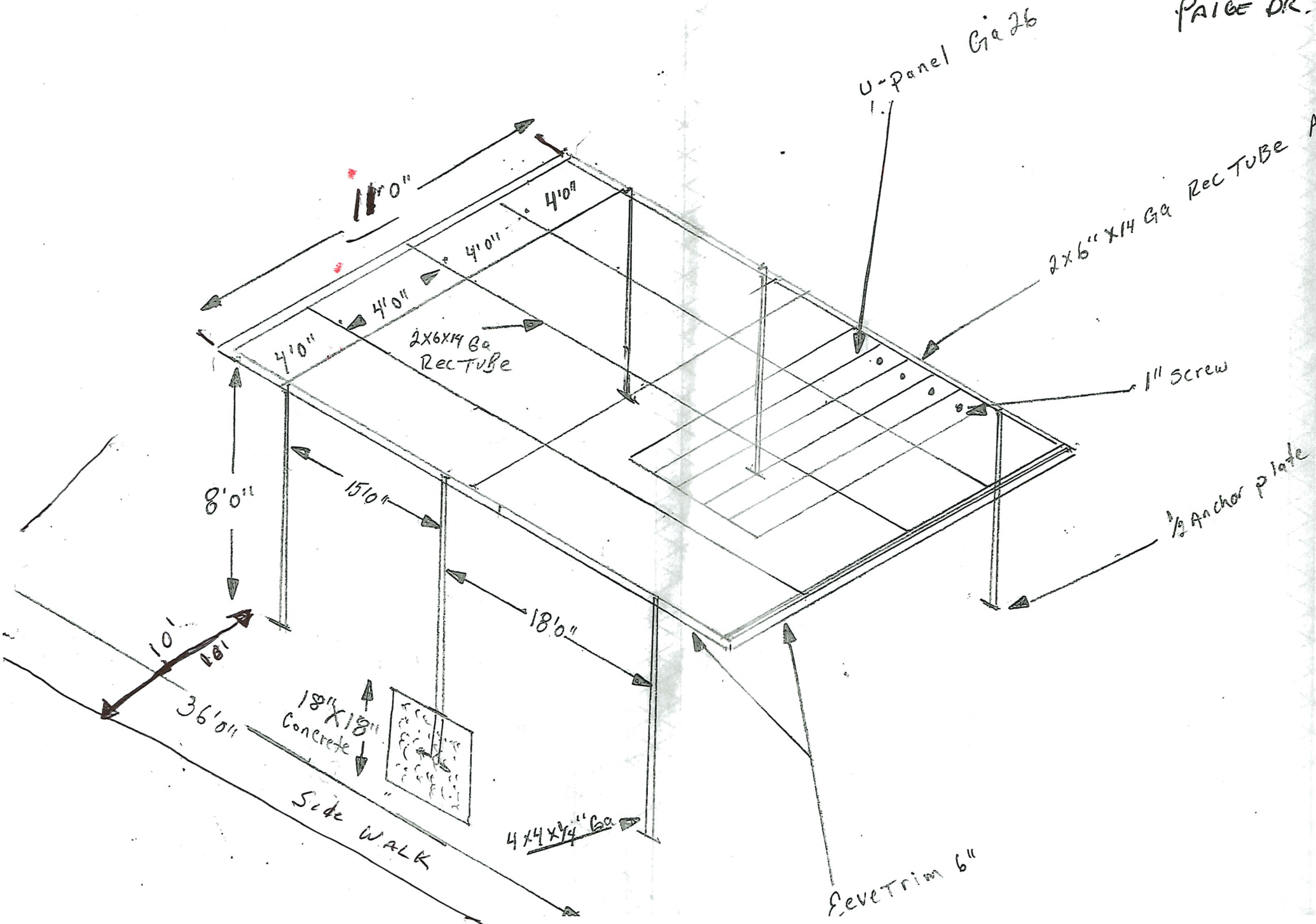
Hobbs N.M. 88240

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1430 W.
PAIGE DR.



9) Review and Consider VMJ Mavericks Claim of Exemption, Tract 1A-2 and Site Plan



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: April 21st, 2026

SUBJECT: REVIEW AND CONSIDER VMJ MAVERICKS CLAIM OF EXEMPTION, TRACT 1A-2 AND SITE PLAN

DEPT. OF ORIGIN: Planning Department

DATE SUBMITTED: March 23th, 2026

SUBMITTED BY: Angel Lopez Zamora, Planning Project Manager

Summary:

Review and consideration of the VMJ Mavericks Subdivision, Claim of Exemption which creates Tract 1A-2. They have also submitted a site plan for the proposed new Tract. County has approved the proposed new Tract 1A-2.

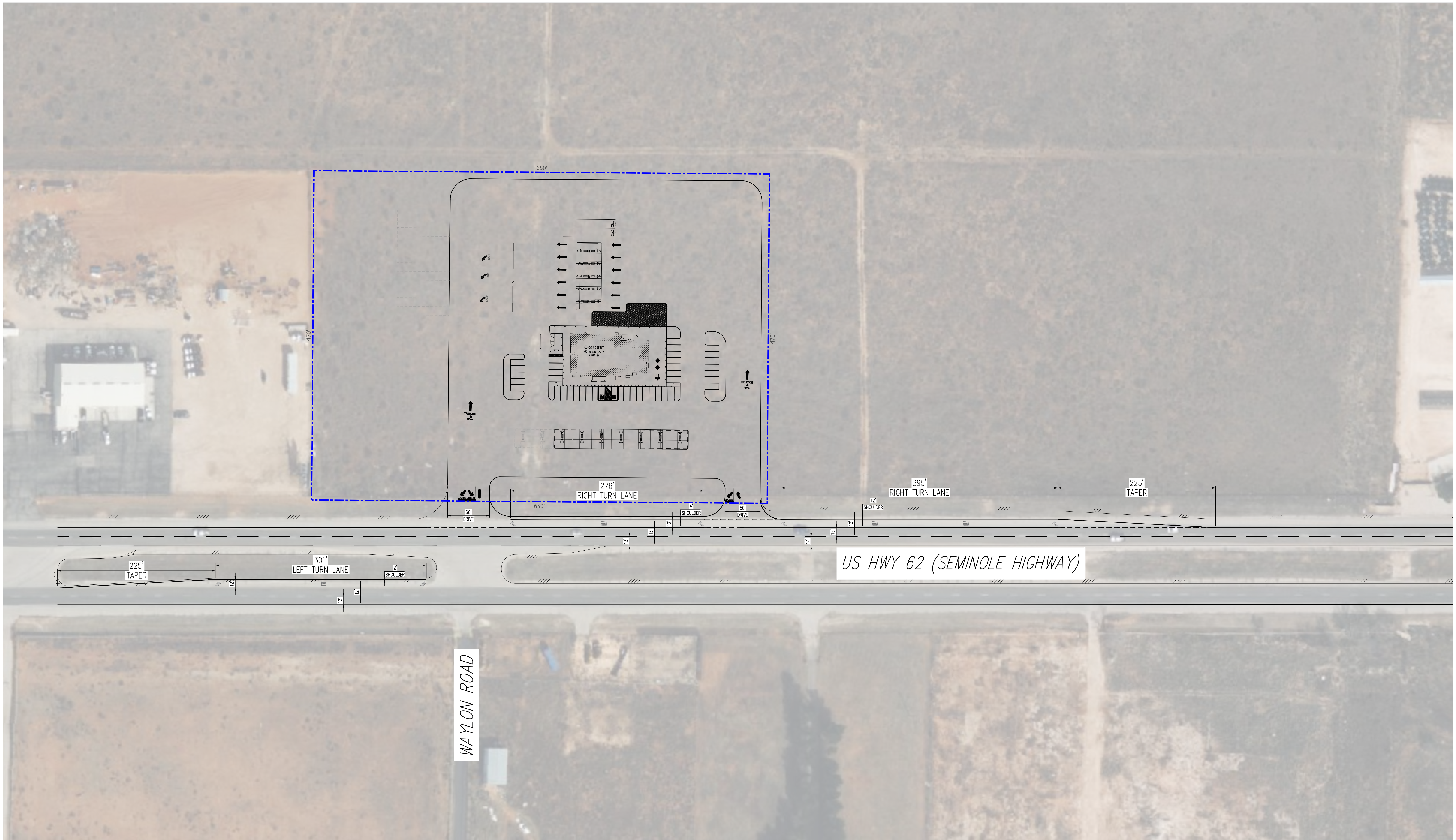
Staff Recommendations:

Planning Department:

Staff has no objection to the documents presented. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Preliminary Drawings
- Site Map



US HWY 62 & WAYLON RD

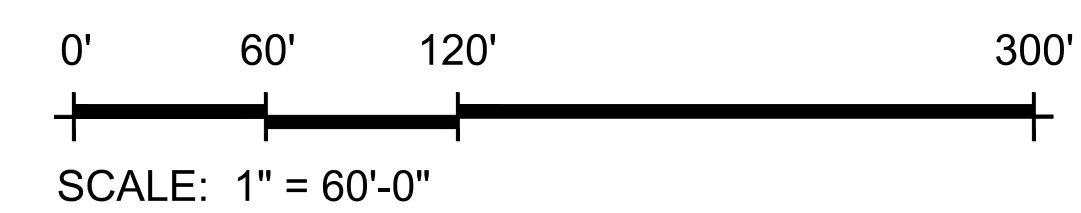
MAESTAS DEVELOPMENT GROUP

CONCEPTUAL SITE PLAN

HOBBS, NEW MEXICO

10.27.2025

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10) Review and Consider Road Improvement Requirements
for Mobile Home near 12200
North Catchings Road



Approximate Mobile Home Location - BLUE POLYGON

11) Department of Finance and Administration,
Infrastructure Planning and Development
Division (ICIP) – 2026 Capital Projects



IT ALL HAPPENS HERE.™

**Tentative
(ICIP) CAPS Schedule
FY 2028 – 2032**

New Project Entry
February 26th thru August 31st

Planning Board
April 28th

Commission
June 15th

Complete Data Entry
July 1st



IT ALL HAPPENS HERE.™

2028 – 2032 CAPS Project List

Top 5 Priority List

1. A
2. B
3. C
4. D
5. E

2028 – 2032 CAPS Project List

Top 10 Priority List

1. A
2. B
3. C
4. D
5. E
6. F
7. G
8. H
9. I
10. J

Pre RANK	ICIP Project ID	Project Title	Contact Person	Class	Type	Subtype	Project Location	Completed to date	Prelim. Budget 2026	Funded to Date	Proposed FY 2027	2028	2029	2030	2031	Total Project Cost	Amount Not Yet Funded	STAFF NOTES
01	25060	Street Improvements / Resurfacing	Shelia Baker	Renovate/Repair	Transportation	Highways/Roads/Bridges	200 E Broadway St	26,726,880	2,000,000	28,726,880	10,000,000	10,000,000	10,000,000	10,000,000	10,000,000	78,726,880	50,000,000	No. 1 Commission Goal
02	17615	Drainage Master Plan & Improvements	Anthony Henry	New	Water	Storm/Surface Water Control	200 E Broadway St	-	400,000	400,000	750,000	250,000	250,000	250,000	250,000	2,150,000	1,750,000	Funding ear-marked to possible leveraging other funding
03	36186	Joe Harvey Blvd. Improvements	Anthony Henry	Replace Existing	Transportation	Highways/Roads/Bridges	1717 W Joe Harvey Blvd	-	775,000	775,000	750,000	7,500,000	-	-	-	9,025,000	8,250,000	2014 Bid for Beautification (Over \$10M - \$2M over budget)
04	28046	West College Lane Realignment	Anthony Henry	New	Transportation	Highways/Roads/Bridges	3710 W College Lane - College Lane and	-	10,000,000	10,000,000	12,000,000	-	-	-	-	22,000,000	12,000,000	FY24 - Re-alignment of the intersection with future phase to
05	26436	Ambulance	Mark Doporto	New	Vehicles	Public Safety Vehicle	301 E White St - Citywide	1,271,301	228,699	1,500,000	-	300,000	-	300,000	-	2,100,000	600,000	Every two years - move to 2026
06	26429	Citywide Fiber Network	Christa Belyeu	New	Facilities	Other	200 E Broadway St	550,000	1,200,000	1,750,000	2,500,000	500,000	500,000	500,000	500,000	6,250,000	4,500,000	Possible County Participation to connect County Facilities
07	14775	West Bender Widening Project & Drainage	Anthony Henry	New	Transportation	Highways/Roads/Bridges	1100 E Bender Blvd	25,000	475,000	500,000	2,500,000	11,000,000	-	-	-	14,000,000	13,500,000	Potential phased to allow for the drainage study to be
08	39097	Gateway Corridor Beautification	Bryan Wagner	New	Facilities	Other	200 E Broadway St	-	-	-	500,000	500,000	500,000	500,000	500,000	2,500,000	2,500,000	Community Initiative to enhance / maintain right of way and
09	39088	Municipal Facility Security Improvements	Shelia Baker	New	Facilities	Other	200 E Broadway St	51,000	538,000	589,000	1,000,000	1,000,000	-	-	-	2,589,000	2,000,000	Get a list of building and costs for each building ... add dollars
10	43055	Dal Paso - Glorieta Traffic Signal	Anthony Henry	New	Transportation	Highways/Roads/Bridges	Hobbs, NM 88240	-	-	-	600,000	-	-	-	-	600,000	600,000	Signal Warrant Analysis complete, next step is design phase
11	36212	Heizer Park Renovations	Bryan Wagner	Renovate/Repair	Facilities	Other	110 E Stanolind Rd	1,542,200	-	1,542,200	500,000	2,000,000	-	-	-	4,042,200	2,500,000	Waiting on Aquatics Feasibility Study (DO WE NEED TO ADD
12	39076	All Inclusive Playground	Bryan Wagner	New	Facilities	Other	2501 E Sanger St	-	-	-	1,500,000	-	-	-	-	1,500,000	1,500,000	No. 1 Goal from Community Affairs Board
13	37757	SR 18 - South Dal Paso Improvements	Anthony Henry	Renovate/Repair	Transportation	Highways/Roads/Bridges	900 S Dal Paso St	-	-	-	3,750,000	3,500,000	3,500,000	-	-	10,750,000	10,750,000	Comm. Fields requested project (sidewalk on S. Dal Paso)
14	43053	Potable Ground Water Storage Tank Liner	Tim Woomeer	New	Water	Water Supply	1300 South Fifth St	34,100	1,215,900	1,250,000	800,000	-	-	-	-	2,050,000	800,000	Jefferson & HIAP Tanks
16	38999	Public Safety Vehicles & Equipment	August Fons	New	Vehicles	Public Safety Vehicle	300 N Turner St	5,590,086	1,697,059	7,287,145	1,500,000	1,000,000	1,000,000	1,000,000	1,000,000	12,787,145	5,500,000	FY24 funding received ... move down?
17	36210	Fire / Police Training Facility	Shelia Baker	New	Facilities	Other	200 E Broadway St	-	-	-	5,000	3,500,000	-	-	-	3,505,000	3,505,000	SHOW IN 2024 FOR THE DESIGN FUNDS
18	41864	Animal Care Service Center	Shelia Baker	New	Facilities	Other	200 E Broadway St	-	-	-	1,500,000	-	-	-	-	1,500,000	1,500,000	New Facility
19	39043	Library Programming Space Remodel	Nichole Lawless	Renovate/Repair	Facilities	Libraries	509 N Shipp St	-	-	-	20,000	500,000	-	-	-	520,000	520,000	Added New Project FY 27-FY31 ICIP
20	40170	Mobile Rd Improvements	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St - Mobile	-	50,000	50,000	250,000	1,500,000	-	-	-	1,800,000	1,750,000	City working on property owners to dedicate roadway for future
21	26443	RR Crossing Upgrades and New Crossings	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St - RR corridor	-	250,000	250,000	150,000	-	150,000	-	150,000	700,000	450,000	
22	37758	East Skelly and Midwest Improvements	Anthony Henry	Renovate/Repair	Transportation	Highways/Roads/Bridges	1000 E Midwest St	1,000,000	1,000,000	2,000,000	1,000,000	1,750,000	-	-	-	4,750,000	2,750,000	Current CDBG Project Complete (Only a phase)- Next Phase
23	31972	HPD Mobile Command Post	August Fons	New	Vehicles	Public Safety Vehicle	300 N Turner St	-	-	-	1,100,000	-	-	-	-	1,100,000	1,100,000	CHANGED YEAR ... UPDATE PRICE AND DESCP
24	40171	Pickleball Facilities	Bryan Wagner	New	Facilities	Other	2501 E Sanger St	-	-	-	2,000,000	-	-	-	-	2,000,000	2,000,000	POSD requested as No. 2
25	12548	Infrastructure / Utility Extensions	Tim Woomeer	New	Other	Utilities (publicly-owned)	200 E Broadway St - Navajo	1,500,000	-	1,500,000	750,000	750,000	750,000	750,000	750,000	5,250,000	3,750,000	Street & Utility infrastructure extension in strategic growth
26	39022	Harry McAdams Park Improvements	Bryan Wagner	New	Facilities	Other	5300 West Jack Gomez Blvd	-	50,000	50,000	2,500,000	-	-	-	-	2,550,000	2,500,000	NEW PROJECT - MASTER PLAN IN FY23
27	43049	HIAP Industrial Park Improvement	Todd Randall	New	Transportation	Highways/Roads/Bridges	5600 W Jack Gomez Blvd	-	-	-	12,000,000	-	-	-	-	12,000,000	12,000,000	Need to formalize a masterplan for HIAP
28	25061	Water Wells Program	Tim Woomeer	New	Water	Water Supply	200 E Broadway St	900,000	600,000	1,500,000	500,000	500,000	500,000	500,000	500,000	4,000,000	2,500,000	Water Well Construction every year FY23 BUDGET
29	41776	Downtown Improvements	Todd Randall	New	Transportation	Highways/Roads/Bridges	200 E Broadway St	-	-	-	3,300,000	-	-	-	-	3,300,000	3,300,000	80,000 sq. ft covered parking / expand parking lot (close
30	38888	School Zone Traffic Improvements	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St	195,000	55,000	250,000	250,000	250,000	-	-	-	750,000	500,000	Two current Projects (Grimes / Turner) HAWK SYSTEMS
31	22675	Municipal Vehicles and Equipment	Shelia Baker	Replace Existing	Vehicles	Public Safety Vehicle	200 E Broadway St - Citywide	5,590,086	1,697,059	7,287,145	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000	14,787,145	7,500,000	Change to \$1.5 per year
32	37756	Public Facility Roof Reconstruction	Shelia Baker	Replace Existing	Facilities	Other	200 E Park St	77,000	805,000	882,000	1,000,000	-	500,000	-	500,000	2,882,000	2,000,000	
33	39101	WWRF - Scada Improvements	Tim Woomeer	Replace Existing	Other	Utilities (publicly-owned)	1300 S Fifth St	1,000,000	5,500,000	6,500,000	3,000,000	-	-	-	-	9,500,000	3,000,000	Fully funded in FY24 budget
34	41874	Rockwind Grill Remodel	Shelia Baker	Renovate/Repair	Facilities	Other	5001 Jack Gomez Blvd	-	-	-	250,000	-	-	-	-	250,000	250,000	Interior remodel and outdoor bar
35	41884	Eagle IC Cameras	August Fons	New	Facilities	Other	300 N Turner St	-	-	-	450,000	-	-	-	-	450,000	450,000	
36	38997	HPD Improvements	August Fons	New	Facilities	Other	300 N Turner St	-	-	-	300,000	2,500,000	-	-	-	2,800,000	2,800,000	RENAME TO HPD IMPROVEMENTS TO ADDRESS
37	40172	Boone Cemetery Renovation	Bryan Wagner	New	Facilities	Other	2909 N Dal Paso St	-	-	-	250,000	-	-	-	-	250,000	250,000	NEW PROJECT - REQUEST 22
38	39103	Ground Water Remediation - WWRF	Tim Woomeer	New	Other	Utilities (publicly-owned)	1300 S Fifth St	-	200,000	200,000	1,000,000	1,000,000	300,000	-	-	2,500,000	2,300,000	
39	22423	Sewer Main Replacement	Tim Woomeer	Replace Existing	Other	Utilities (publicly-owned)	3700 N Grimes St	16,890,014	9,100,000	25,990,014	1,000,000	500,000	500,000	500,000	500,000	28,990,014	3,000,000	FY23 funding would be the last Trunk Line F funding and
40	36191	Water Main Replacement	Tim Woomeer	Replace Existing	Other	Utilities (publicly-owned)	200 E Broadway St	2,523,372	2,100,000	4,623,372	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	9,623,372	5,000,000	Annual Waterline Replacement Project
41	39083	Prairie Haven Improvements	Bryan Wagner	New	Facilities	Other	1900 E Stanolind Rd	-	-	-	1,000,000	250,000	250,000	250,000	200,000	1,950,000	1,950,000	Misc Improvements - not defined yet
42	39089	Rockwind Golf Course Drainage Improvements	Bryan Wagner	New	Facilities	Other	5001 W Jack Gomez Blvd	-	1,000,000	1,000,000	1,000,000	-	-	-	-	2,000,000	1,000,000	Study completed by consultant and seeking additional funding
43	40183	Green Meadows - Annexation & Improvements	Todd Randall	New	Other	Other	4400 N Lovington Hwy	-	600,000	600,000	600,000	500,000	-	-	-	1,700,000	1,100,000	Possible sewer extension & water line looping for Green
44	39087	AMR - Water Meter Replacement Program	Tim Woomeer	Replace Existing	Other	Utilities (publicly-owned)	200 E Broadway St - Citywide	1,500,000	500,000	2,000,000	1,250,000	1,250,000	-	-	-	4,500,000	2,500,000	
45	35177	Comprehensive/ Strategic Plan	Todd Randall	New	Other	Other	200 E Broadway St - Citywide	-	-	-	180,000	-	-	-	-	180,000	180,000	Deleted in the FY22 budget
46	39038	Projection of Smith Ln	Anthony Henry	New	Transportation	Highways/Roads/Bridges	4630 W Smith Ln	-	-	-	350,000	-	-	-	-	350,000	350,000	NEED PROJECT DESCRIPTION Estimated at 1,000 and
47	40182	Skate/Bike Park	Bryan Wagner	New	Facilities	Other	2501 E Sanger St	-	-	-	1,600,000	-	-	-	-	1,600,000	1,600,000	City Park possible location
48	39032	Public Facility HVAC Improvements	Shelia Baker	New	Facilities	Other	200 E Broadway St	77,000	805,000	882,000	500,000	-	500,000	-	500,000	2,382,000	1,500,000	NEED PROJECT DESCRIPTION
49	39071	Water Effluent Improvements	Tim Woomeer	New	Other	Utilities (publicly-owned)	200 E Broadway St	-	-	-	2,500,000	500,000	500,000	-	-	3,500,000	3,500,000	NEED PROJECT DESCRIPTION - OLD PROJECT NEEDS
50	26535	Manhole Repair Program	Tim Woomeer	New	Other	Utilities (publicly-owned)	200 E Broadway St - Citywide	186,318	483,682	670,000	60,000	60,000	60,000	60,000	60,000	970,000	300,000	FY23 \$483,682
51	40178	Veteran's Complex - Baseball Safety Netting	Bryan Wagner	New	Facilities	Other	2501 East Sanger St	-	-	-	250,000	-	-	-	-	250,000	250,000	
52	39024	Varsity Grandstand Improvements	Bryan Wagner	New	Facilities	Other	800 N Jefferson St	-	-	-	1,500,000	-	-	-	-	1,500,000	1,500,000	
53	14370	Arterial COOP Project	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St - Citywide	-	-	-	175,000	175,000	175,000	175,000	175,000	875,000	875,000	Define in project description
54	25058	ADA Intersection Improvement Project	Anthony Henry	Replace Existing	Transportation	Highways/Roads/Bridges	200 E Broadway St - City wide	-	5,000	5,000	50,000	50,000	50,000	50,000	50,000	255,000	250,000	Plan needs to be updated by Sept. 2023
55	14435	MAP Roadway Rehabilitation Projects	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St - Citywide	-	-	-	600,000	600,000	600,000	600,000	600,000	3,000,000	3,000,000	Define in project description
01	28048	Wildland Fire Apparatus 2028	Mark Doporto	Replace Existing	Vehicles	Public Safety Vehicle	200 E Broadway St - Citywide	-	-	-	-	-	450,000	-	-	450,000	450,000	
02	26433	Outdoor Range Phase II	August Fons	New	Facilities	Other	6410 N A St - PD Ouydoor Range	423,821	-	423,821	-	450,000	-	-	-	873,821	450,000	Need a Description of the proposed Improvements
03	39047	Retention / Detention Basin Renovations	Bryan Wagner	New	Water	Storm/Surface Water Control	2304 N Jefferson St	-	-	-	500,000	500,000	500,000	500,000	500,000	2,000,000	2,000,000	Strategic Plan for renovating basins and reducing maintenance
04	37762	Northwest Bypass	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St	-	-	-	600,000	500,000	18,400,000	-	-	19,500,000	19,500,000	
05	35176	Projection of Central West	Anthony Henry	New	Transportation	Highways/Roads/Bridges	200 E Broadway St - Intersection of	-	-	-	100,000	775,000	-	-	-	875,000	875,000	
06	25059	Traffic Signal Up																

Row Labels	Completed - to Date	Funded - to Date	Prelim. Budget 2026	Proposed FY 2027	2028 Budget	2029 Budget	2030 Budget	2031 Budget	Project Cost (Total)	Not Yet Funded
Anthony Henry	\$ 3,566,613.00	\$ 16,931,719.00	\$ 13,365,106.00	\$ 23,175,000.00	\$ 28,925,000.00	\$ 8,750,000.00	\$ 27,725,000.00	\$ 24,725,000.00	\$ 130,231,719.00	\$ 113,300,000.00
August Fons	\$ 6,013,907.00	\$ 7,710,966.00	\$ 1,697,059.00	\$ 3,350,000.00	\$ 3,950,000.00	\$ 1,000,000.00	\$ 1,000,000.00	\$ 1,000,000.00	\$ 18,010,966.00	\$ 10,300,000.00
Bryan Wagner	\$ 4,342,199.94	\$ 5,392,199.94	\$ 1,050,000.00	\$ 13,400,000.00	\$ 28,650,000.00	\$ 6,250,000.00	\$ 4,500,000.00	\$ 3,700,000.00	\$ 61,892,199.94	\$ 56,500,000.00
Christa Belyeu	\$ 550,000.00	\$ 1,750,000.00	\$ 1,200,000.00	\$ 3,150,000.00	\$ 2,200,000.00	\$ 800,000.00	\$ 800,000.00	\$ 800,000.00	\$ 9,500,000.00	\$ 7,750,000.00
Doug McDaniel	\$ -	\$ 500,000.00	\$ 500,000.00	\$ 12,000,000.00	\$ 925,000.00	\$ -	\$ -	\$ -	\$ 13,425,000.00	\$ 12,925,000.00
Mark Doporto	\$ 1,271,301.00	\$ 1,500,000.00	\$ 228,699.00	\$ -	\$ 300,000.00	\$ 450,000.00	\$ 300,000.00	\$ -	\$ 2,550,000.00	\$ 1,050,000.00
Shelia Baker	\$ 32,521,966.00	\$ 38,367,025.00	\$ 5,845,059.00	\$ 15,755,000.00	\$ 16,000,000.00	\$ 12,500,000.00	\$ 11,500,000.00	\$ 12,500,000.00	\$ 106,622,025.00	\$ 68,255,000.00
Tim Woomer	\$ 24,533,804.00	\$ 44,233,386.00	\$ 19,699,582.00	\$ 11,860,000.00	\$ 9,060,000.00	\$ 20,185,000.00	\$ 5,485,000.00	\$ 8,810,000.00	\$ 99,633,386.00	\$ 55,400,000.00
Todd Randall	\$ -	\$ 600,000.00	\$ 600,000.00	\$ 16,080,000.00	\$ 500,000.00	\$ -	\$ -	\$ -	\$ 17,180,000.00	\$ 16,580,000.00
Grand Total	\$ 72,799,790.94	\$ 116,985,295.94	\$ 44,185,505.00	\$ 98,770,000.00	\$ 90,510,000.00	\$ 49,935,000.00	\$ 51,310,000.00	\$ 51,535,000.00	\$ 459,045,295.94	\$ 342,060,000.00